



5 January 2026

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PLANNING AND LICENSING COMMITTEE

A meeting of the Planning and Licensing Committee will be held in the Council Chamber - Council Offices, Trinity Road, Cirencester, GL7 1PX on **Wednesday, 14 January 2026 at 2.00 pm.**

Jane Portman
Interim Chief Executive

To: Members of the Planning and Licensing Committee
(Councillors Dilys Neill, Ian Watson, Ray Brassington, Nick Bridges, Patrick Coleman, Daryl Corps, David Fowles, Julia Judd, Michael Vann and Tristan Wilkinson)

Recording of Proceedings – The law allows the public proceedings of Council, Cabinet, and Committee Meetings to be recorded, which includes filming as well as audio-recording. Photography is also permitted.

As a matter of courtesy, if you intend to record any part of the proceedings please let the Committee Administrator know prior to the date of the meeting.

AGENDA

1. **Apologies**

To receive any apologies for absence. The quorum for the Planning and Licensing Committee is 3 members.

2. **Substitute Members**

To note details of any substitution arrangements in place for the meeting.

3. **Declarations of Interest**

To receive any declarations of interest from Members relating to items to be considered at the meeting.

4. **Minutes** (Pages 7 - 16)

To confirm the minutes of the meeting of the Committee held on 10 December 2025.

5. **Chair's Announcements**

To receive any announcements from the Chair of the Planning and Licensing Committee.

6. **Public questions**

A maximum of 15 minutes is allocated for an "open forum" of public questions at committee meetings. No person may ask more than two questions (including supplementary questions) and no more than two such questions may be asked on behalf of one organisation. The maximum length of oral questions or supplementary questions by the public will be one minute. Questions must relate to the responsibilities of the Committee but questions in this section cannot relate to applications for determination at the meeting.

The response may take the form of:

- a) A direct oral response (maximum length: 2 minutes);
- b) Where the desired information is in a publication of the Council or other published work, a reference to that publication; or
- c) Where the reply cannot conveniently be given orally, a written answer circulated later to the questioner.

7. **Member questions**

A maximum period of fifteen minutes is allowed for Member questions. Questions must be directed to the Chair and must relate to the remit of the Committee but may not relate to applications for determination at the meeting.

Questions will be asked in the order in which they were received but the Chair may group together similar questions.

The deadline for submitting questions is 5.00pm on the working day before the day of the meeting unless the Chair agrees that the question relates to an urgent matter, in which case the deadline is 9.30am on the day of the meeting.

A member may submit no more than two questions. At the meeting the member may ask a supplementary question arising directly from the original question or the reply. The maximum length of a supplementary question is one minute.

The response to a question or supplementary question may take the form of:

- a) A direct oral response (maximum length: 2 minutes);
- b) Where the desired information is in a publication of the Council or other published work, a reference to that publication; or
- c) Where the reply cannot conveniently be given orally, a written answer circulated later to the questioner.

8. **New Fee for Primate Licenses** (Pages 17 - 22)

Purpose:

To seek approval to implement a fee for primate licensing applications.

Recommendations:

That the Committee:

1. Note the contents of the report and the implications of the Animal Welfare (Primate Licences) (England) Regulations 2024 on the Council; and,
2. Recommend to Council that the fees applicable to Primate Keeper Licence applications are set as detailed in paragraph 3.9

Schedule of Applications

To consider and determine the applications contained within the enclosed schedule:

9. **25/02763/REM - Chesterton Farm** (Pages 27 - 76)

Proposal

Reserved Matters pursuant to outline permission 16/00054/OUT relating to appearance, layout, landscaping and scale for the erection of 100 dwellings, landscaping and public open space for Phase 2 A of the development, and discharge of conditions 11, 16, 18, 48, 56 at Chesterton Farm Cranhams Lane Cirencester Gloucestershire GL7 6JP.

Case Officer

Julian Pye

Ward Member
Ray Brassington

Recommendation
Approval of Reserved Matters subject to conditions.

10. **25/02175/FUL Thyme - Southrop Estate Office** (Pages 77 - 150)

Proposal
Erection of 3 new structures.

Case Officer
Amy Hill

Ward Member
Councillor David Fowles

Recommendation
PERMIT

11. **25/02722/LBC Thyme - Southrop Estate Office** (Pages 151 - 172)

Purpose
Erection of glazed extension to curtilage listed building.

Case Officer
Amy Hill

Ward Member
David Fowles

Recommendation
PERMIT

12. **24/02513/FUL Siddington Park** (Pages 173 - 238)

Proposal
Development of land and erection of buildings to expand an existing Integrated Retirement Community (Use Class C2).

Case Officer
Andrew Moody

Ward Member
Councillor Mike Evemy

Recommendation

PERMIT subject to the completion of a Section 106 legal agreement for the payment of financial contributions towards library facilities and travel plan; also the payment of the financial contribution to mitigate the impact of the development upon the North Meadow and Clattinger Farm Special Area of Conservation.

13. **Licensing Sub-Committee**

Members for 29 January 2026 (if required)

Councillors Dilys Neill, David Fowles, Ray Brassington.

14. **Sites Inspection Briefing**

Members for 4 February 2026 (if required)

Councillors Dilys Neill, Patrick Coleman, David Fowles, Julia Judd, Ian Watson

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Planning and Licensing Committee
10/December2025



COTSWOLD
District Council

Minutes of a meeting of Planning and Licensing Committee held on Wednesday, 10 December 2025

Members present:

Dilys Neill (Chair)

Ray Brassington

Nick Bridges

Julia Judd (Vice Chair)

Daryl Corps

David Fowles

Patrick Coleman

Michael Vann

Officers present:

Marie Barnes, Lawyer

Harrison Bowley, Head of Planning Services

Amy Hill, Senior Planning Officer

Ceri Porter, Senior Planning Officer

Jasper Lamoon, Principal Planning Policy Officer

Julia Gibson, Democratic Services Officer

Tyler Jardine, Trainee Democratic Services Officer

Kira Thompson, Election and Democratic Services Support Assistant

212 Apologies

There were apologies for absence from Councillors Ian Watson and Tristan Wilkinson.

213 Substitute Members

There were no substitute Members.

214 Declarations of Interest

Councillor Julia Judd declared that she had known the applicant for 25/02175/FUL approximately 17 years ago which was agreed to be impartial by the legal representative.

The Ward Member, Councillor David Fowles, described a letter received from Howard Cole, written by Mark Chadwick on 5 December which was included in the additional pages, the contents of which had been discussed with officers and legal services. While officers recommended approval, the Ward Member explained that there were significant objections from Southrop residents and the parish council, and that he had

been asked to summarise those views as reasons for referral to the review panel and subsequently to Committee. He emphasised that these were not necessarily his own views, and that his role was to represent the whole village, including the applicant and his family. The Ward Member acknowledged the letter's tone but confirmed that, despite correspondence received from both objectors and the site owner, he approached the application with an open mind. Legal Services sought confirmation of this, and the Ward Member confirmed that he was content to consider the application impartially.

Councillor Ray Brassington declared that he had previously known Mark Chadwick, as he had formerly been a planning officer at the Council.

215 Minutes

The minutes of the meeting held on 12 November 2025 were discussed. Councillor Coleman proposed accepting the minutes and Councillor Fowles seconded the proposal which was put to the vote and agreed by the Committee.

RESOLVED: To APPROVE the minutes of the meeting held on 12 November 2025.
Councillor Ray Brassington did not vote.

To agree the minutes of the 12 November 2025 (Resolution)		
For	Nick Bridges, Patrick Coleman, David Fowles, Julia Judd, Dilys Neill and Michael Vann	6
Against	None	0
Conflict Of Interests	None	0
Abstain	Daryl Corps	1
Carried		

216 Chair's Announcements

The Chair proposed holding a festive buffet lunch for Planning and Licensing Committee members and officers on 15 January 2026, subject to availability and confirmation.

The Chair noted with regret the absence of Councillor Maclean, who had resigned as District Councillor for the Rissingtons due to ill health. The Committee expressed their sincere thanks for his valued and thoughtful contributions over many years, particularly his guidance on energy conservation, ecology and climate change. He was warmly acknowledged as a respected colleague who would be greatly missed.

217 Public questions

There were no public questions.

218 Member questions

There were no Member questions.

219 25/02175/FUL - Thyme - Southrop Estate Office

The proposal was for the erection of 3 new structures and associated landscaping to provide additional spa facilities and hotel accommodation.

Case Officer: Amy Hill

Ward Member: Councillor David Fowles

Officer Recommendation: PERMIT

The Chair invited the Case Officer to introduce the application who made the following points:

- Updates were provided in the additional pages including conditions 4 and 5 which had been reviewed and updated.
- Maps of the location site and the background of the business.
- Ariel photographs showing location and Public Right of Way (PROW).
- Photographs of the site from various directions.
- Site location plan, site sections and site elevations.

Public Speakers

Speaker 1 – Southrop Parish Council – Councillor Cathy Brickley

The Parish Council noted that, although the application had been subject to pre-application discussions, no local consultation had taken place. An objection was raised due to concerns about new development within a conservation area, including potential noise and light pollution, the risk of further incremental development, and impacts on nearby listed buildings. The speaker raised concerns about increased traffic on narrow village roads and the absence of a traffic survey. The level of local objection was highlighted as evidence of concern that the proposal represented over-development harmful to the character and scale of the village.

Speaker 2 - Objector - Jonathan Turnock

Dr Jonathan Turnock, Associate Heritage Consultant, spoke on behalf of the owners of The Dovecote, a building adjacent to the site. He raised concerns that the application had not been supported by an adequate heritage assessment and that the level of heritage harm identified was understated. He considered that the proposed development would cause harm to the Southrop Conservation Area and to the significance of nearby Grade II listed buildings. He stated that the loss of open land would harm the historic setting and functional relationship of these assets and adversely affect important views from public footpaths. He concluded that public benefits had not been sufficiently demonstrated.

Speaker 3 – Supporter - Flavia Mann

She considered that the level of local support for Thyme had not been fully reflected and emphasised the value of Thyme's role in sustaining village amenities, employment and community life. She described Thyme as a locally rooted business that provided quiet facilities and supported a wide range of local jobs and suppliers. She did not believe the proposal would result in increased noise, light or traffic, and considered the development to be a modest and appropriate evolution.

Speaker 4 – Applicant - Camilla Hibbert

The General Manager of Thyme outlined that the business employed a local team of approximately 130 people and had restored the former farmstead. She highlighted ongoing investment in listed buildings and local trades and crafts and its commitment to sustainability. She stated that the design had been developed in accordance with heritage guidance and that the applicant had engaged with neighbours and the Parish Council, resulting in revisions to the scheme.

Speaker 5 – Ward Member – Councillor David Fowles

The Ward Member acknowledged Thyme's achievements and its positive role within a close-knit community. He outlined the history of Thyme's development since 2002 and recognised its success, local employment and use of local suppliers. However, he emphasised that the current proposal differed from previous applications as it involved new development in open countryside.

He noted that 49 residents had objected, raising concerns about overdevelopment, impacts on the Cotswolds landscape, noise, light pollution, traffic, future expansion and harm to listed buildings and the conservation area. Whilst acknowledging recent amendments made by the applicant, he stated that concerns remained regarding traffic increases and heritage impacts. He described the application as finely balanced and requested that a site visit be arranged to allow Members to fully understand the village context and potential impacts.

Member questions

Members asked questions of the officers, who responded in the following way:

- The officer highlighted recent changes to the siting of the plant room to mitigate impacts on neighbouring properties.
- The green roof on the spa building was not included as part of the noise mitigation measures, and biodiversity officers did not give significant weight to green roofs for biodiversity benefits.
- Controlling construction traffic and protecting narrow lanes and grass verges could be managed through a Construction Management Plan. It was advised that this would be an onerous condition, noting that the applicant could appeal against conditions they consider excessive.

- No traffic survey had been requested, and Highways had indicated they were satisfied that the proposal would not result in an unacceptable increase in traffic.
- The paddock contributed mainly to the soft, low-density rural edge of the settlement. While historically associated with nearby buildings, there was no direct functional relationship. Proposed development would respect this character and comprise of low, small-scale buildings with meadow grass roofs to integrate with the landscape.
- Proposed buildings were designed to be low, small-scale, and broken up, reflecting traditional outbuildings, with contemporary, green-roofed elements discreetly integrated so that impacts on the Conservation Area and adjacent listed buildings would be limited.
- Price's Barn on the site location plan was now known as the Dovecot.
- Limited height of the new building reduced prominence, but would still be visible.
- The main overflow car park was accessible from the south and did not require driving through the village. Whilst some visitors might pass through the village, the additional parking demand was expected to be minimal, with a small increase in winter visitor traffic.

Member Comments

Members proposed the following reasons to arrange a Site Inspection Briefing:

- Complexity of the site, both existing and proposed.
- Evolution of the proposal in late submissions and papers, including design changes.
- Topography and the special nature of the landscape.
- Multiple protections: National Landscape, Conservation Area, and Listed Buildings.
- Widespread public concern.
- Evidence from debate highlighted difficulty in fully understanding all elements without a recent site visit.
- A previous site visit was many years ago and the site had likely changed significantly since then.

Councillor Ray Brassington proposed an All-Member Site Inspection Briefing and Councillor Daryl Corps seconded the proposal. The proposal was put to the vote and agreed by the Committee.

RESOLVED: To DEFER the application.

Proposal for Site Inspection Briefing - All Members (Motion)		
For	Ray Brassington, Nick Bridges, Patrick Coleman, Daryl Corps, David Fowles, Julia Judd, Dilys Neill and Michael Vann	8
Against	None	0
Conflict Of Interests	None	0
Abstain	None	0
Carried		

220 25/02722/LBC - Thyme - Southrop Estate Office

The proposal was for the erection of glazed extension to curtilage listed building at Thyme.

Case Officer: Amy Hill

Ward Member: Councillor David Fowles

Officer Recommendation: PERMIT

The Chair invited the Case Officer to introduce the application who shared the Site Location Map, aerial photographs and photographs from different directions.

Member Questions

Members asked questions of the officers, who responded in the following way:

- The Listed Building was historically a garden outbuilding or bothy within the grounds of Southrop Lodge and maps had showed the area as landscaped garden. It was advised that a contemporary interpretation of a garden structure, such as a glasshouse or orangery, would be appropriate in this context. The design included a narrow linking element so the new structure would read as a separate orangery adjacent to the Bothy reflecting the character of high-status historic gardens.

Member Comments

Members proposed the following reasons to arrange a Site Inspection Briefing:

- Complexity of the site, both existing and proposed.
- Evolution of the proposal in late submissions and papers, including design changes.
- Topography and the special nature of the landscape.
- Multiple protections: National Landscape, Conservation Area, and Listed Buildings.
- Widespread public concern.
- Evidence from debate highlighted difficulty in fully understanding all elements without a recent site visit.
- A previous site visit was many years ago and the site had likely changed significantly since then.

Councillor Ray Brassington proposed an All Member SIB and Councillor Daryl Corps seconded the proposal. The proposal was put to the vote and agreed by the Committee.

RESOLVED: To DEFER the application.

Break: 15:35 – 15:45

Councillor Ray Brassington did not vote.

Proposal for Site Inspection Briefing - All Member (Resolution)		
For	Nick Bridges, Patrick Coleman, Daryl Corps, David Fowles, Julia Judd, Dilys Neill and Michael Vann	7
Against	None	0
Conflict Of Interests	None	0
Abstain	None	0
Carried		

221 25/01951/FUL - Talland School of Equitation

The proposal was for the construction of an outdoor riding arena.

Case Officer: Ceri Porter

Ward Member: Councillor Lisa Spivey

Officer Recommendation: PERMIT subject to the completion of a S106 legal agreement covering Biodiversity Net Gain.

The Chair invited the Case Officer to introduce the application who shared arial photographs, site map, cross sections, construction details and photographs of the site from various directions.

Public Speakers

Speaker 1 – Agent – Laura Polley

The Talland School of Equitation, a major UK riding centre with 80–100 horses, provided training from beginner to Olympic/Paralympic level. The school was limited by available training space rather than horses or staff. The proposal would enable year-round training, competitions, and expanded services. Officers had confirmed it complied with local planning policy, would not harm the Cotswolds National Landscape, and that the applicant had worked with the Council ecologist to protect species and achieve the required 10% on-site biodiversity net gain.

Member Questions

Members asked questions of the officers, who responded in the following way:

- The timber fencing colour had not been specified, but it could be controlled by condition.
- The landscaping and site topography would make the development largely discreet from public views. Views from the road and nearby public rights of way were also largely screened by trees and distance, making the development difficult to see in full.
- Soil would need to be scraped off and additional soil imported, but the biodiversity net gain (BNG) elements around the edges would remain undisturbed. Being currently grazed by horses, the area had limited biodiversity, so introducing meadow edges and trees would enhance ecological value.
- There was currently no fencing to protect the new meadow. Its protection would be agreed as part of the BNG condition and secured through the Section 106 agreement.

Member Comments

In discussing the application, Members made the following comments:

- There were concerns about the development requiring excavation and levelling of uneven land when a level area was available nearby.
- Tree planting should ideally provide screening above the building's height.
- The school was acknowledged as being a remarkable business contributing to rural life in the Cotswolds.

Councillor Coleman proposed PERMITTING the application and Councillor Fowles seconded the proposal. The proposal was put to the vote and agreed by the Committee.

RESOLVED: To PERMIT the application.

Talland school of Equitation - PERMIT subject to S106 (Resolution)		
For	Ray Brassington, Nick Bridges, Patrick Coleman, Daryl Corps, David Fowles, Julia Judd, Dilys Neill and Michael Vann	8
Against	None	0
Conflict Of Interests	None	0
Abstain	None	0
Carried		

222 Sites Inspection Briefing

The Chair advised all Members to keep 7 January 2026 free for a Site Inspection Briefing.

Planning and Licensing Committee

10/December2025

223 Licensing Sub-Committee

There were no licensing sub-committees planned.

The Meeting commenced at 2.00 pm and closed at 4.04 pm

Chair

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Council name	COTSWOLD DISTRICT COUNCIL
Name and date of Committee	PLANNING AND LICENSING COMMITTEE – 14 JANUARY 2026
Subject	NEW FEE FOR PRIMATE LICENCES
Wards affected	All
Accountable member	Councillor Andrea Pellegram –Cabinet Member for Environment and Regulatory Services Email: Andrea.Pellegram@cotswold.gov.uk
Accountable officer	Jon Dearing – Executive Director Email: jon.dearing@cotswold.gov.uk
Report Author	Mandy Fathers – Business Manager for Environmental, Welfare and Revenues Email: mandy.fathers@cotswold.gov.uk
Summary/Purpose	To seek approval to implement a fee for primate licensing applications
Annexes	None
Recommendation(s)	That the Committee: <ol style="list-style-type: none"> 1. Note the contents of the report and the implications of the Animal Welfare (Primate Licences) (England) Regulations 2024 on the Council; and, 2. Recommend to Council that the fees applicable to Primate Keeper Licence applications are set as detailed in paragraph 3.9
Corporate priorities	<ul style="list-style-type: none"> • Delivering Good Services
Key Decision	NO
Exempt	NO
Consultees/ Consultation	Leader, Cabinet Member for Environment and Regulatory Services, Chief Executive and Deputy Chief Executive, Chief Accountant and Deputy S151 officer, Director of Governance and Development,



	Director of Communities and Place, Head of Legal Services, Assistant Director, Managing Director (Publica)
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1. EXECUTIVE SUMMARY

- 1.1** This report proposes the introduction of new fees in respect of Primate licensing applications.

2. BACKGROUND

- 2.1** In 2024, the Department for Environment, Food and Rural Affairs (Defra), through Regulations made under the Animal Welfare Act 2006, introduced the Animal Welfare (Primate Licences) (England) Regulations 2024. The Licensing Authority for the purposes of these Regulations is the local authority in whose area the premises at which a primate is kept or is to be kept are situated.

3. MAIN POINTS

- 3.1** The Regulations introduce a licensing scheme, setting strict rules to ensure that only private keepers, who can provide zoo-level welfare standards, will be able to keep primates.
- 3.2** Primates include:
- Marmosets
 - Tamarins
 - Squirrel Monkeys
 - Spider Monkeys
 - Capuchin Monkeys
 - Lemurs
 - Lorisids (also known as bush babies)
- 3.3** The Regulations came into force on 6th April 2025, at which time existing private primate keepers and people proposing to keep primates will be required to hold a licence.
- 3.4** From 6th April 2026 it will become an offence to keep a primate in England without a licence. The only exemptions to the requirement to hold a licence will be where the primates concerned are being kept in a licensed zoo or a place specified in a licence under section 2C of the Animal (Scientific Procedures) Act 1986.
- 3.5** The Regulations set out the application process and the conditions that must be placed on the licence if granted. Further conditions may be stipulated in the Statutory Guidance.
- 3.6** An inspection must be carried out prior to an application being determined, and a further inspection is required on at least one occasion during the duration of the

licence. These inspections must be conducted by a "suitable person" which is defined by the regulations as being:

- a) A veterinarian (VET); or
- b) Any other person who, in view of the local authority, is suitably qualified and competent to carry out the inspection.

- 3.7** A licence must be granted for a period of three years or where the applicant has requested a licence for a period of less than three years, for such shorter period that the applicant has requested.
- 3.8** There are also provisions in the regulations for the holder of a primate licence to request to vary or surrender the licence as well as provisions for the licensing authority to revoke or vary the primate licence.
- 3.9** An application fee may be charged, and a fee can be charged in respect of any inspections. The proposed fees in the table estimate the cost recovery of undertaking this licensing function and is in line with fees already in place for Horse Riding establishments, which is similar in the application/administration process. These fees will be reviewed annually when all discretionary licensing fees are reviewed.

Application for the grant of a licence	£530
Application for renewal of a licence	£364
Application for variation of a licence	£30
Inspection Fees (VET)	Any VET fees that are incurred will be recharged to the applicant

4. FINANCIAL IMPLICATIONS

- 4.1** Local authorities can charge a fee in respect of any application relating to a primate licence and can also charge a fee in respect of any inspection which it must or may arrange under the regulations. Licence fees should be calculated on cost recovery and will be reviewed annually to ensure they are set at the right level.

5. LEGAL IMPLICATIONS

- 5.1** The Animal Welfare (Primate Licences) (England) Regulations 2024 have been made under section 13 of the Animal Welfare Act 2006 and place powers and responsibilities on the Council in respect of the licensing of those that keep primates in their area.

6. RISK ASSESSMENT

- 6.1** The 2024 Regulations allow licensing authorities to set a fee to undertake this licensing function. Fees can be challenged by an applicant or licence holder, meaning the impact of a successful legal challenge is possible. The proposed fees estimate the cost recovery of undertaking this licensing function.

7. EQUALITIES IMPACT

- 7.1** These are statutory functions and are applied nationally.

8. CLIMATE AND ECOLOGICAL EMERGENCIES IMPLICATIONS

- 8.1** None.

9. ALTERNATIVE OPTIONS

- 9.1** The committee could decide to recommend that no fee is implemented.

10. BACKGROUND PAPERS

- 10.1** None

(END)

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PLANNING AND LICENSING COMMITTEE 14 January 2026

SCHEDULE OF APPLICATIONS FOR CONSIDERATION AND DECISION (HP)

- **Members are asked to determine the applications in this Schedule. My recommendations are given at the end of each report. Members should get in touch with the case officer if they wish to have any further information on any applications.**
- **Applications have been considered in the light of national planning policy guidance, the Development Plan and any relevant non-statutory supplementary planning guidance.**
- The following legislation is of particular importance in the consideration and determination of the applications contained in this Schedule:
 - **Planning Permission:** Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that “where in making any determination under the planning Acts, regard is to be had to the development plan, the determination shall be made in accordance with the plan unless material consideration indicates otherwise. Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 - special regard to the desirability of preserving the (listed) building or its setting or any features of special architectural or historic interest.
 - **Listed Building Consent:** Section 16 of the Planning (Listed Buildings and Conservation Areas) Act 1990 - special regard to the desirability of preserving the (listed) building or its setting or any features of special architectural or historic interest.
 - **Display of Advertisements:** Town and Country Planning (Control of Advertisements) (England) Regulations 2007 - powers to be exercised only in the interests of amenity, including any feature of historic, architectural, cultural or similar interest and public safety.
- The reference to **Key Policy Background** in the reports is intended only to highlight the policies most relevant to each case. Other policies, or other material circumstances, may also apply and could lead to a different decision being made to that recommended by the Officer.
- Any responses to consultations received after this report had been printed, will be reported at the meeting, either in the form of lists of **Additional Representations**, or orally. Late information might result in a change in my recommendation.
- The **Background Papers** referred to in compiling these reports are: the application form; the accompanying certificates and plans and any other information provided by the applicant/agent; responses from bodies or persons consulted on the application; other representations supporting or objecting to the application.

PLANNING AND LICENSING COMMITTEE 14 January 2026
INDEX TO APPLICATIONS FOR CONSIDERATION AND DECISION

Parish	Application	Schedule Order No.
Cirencester	Chesterton Farm Cranhams Lane Cirencester Gloucestershire GL7 6JP 25/02763/REM Approval of Reserved Matters	1
Southrop	Thyme - Southrop Estate Office Southrop Estate Southrop Lechlade Gloucestershire GL7 3PW 25/02175/FUL Full Application	2
Southrop	Thyme - Southrop Estate Office Southrop Estate Southrop Lechlade Gloucestershire GL7 3PW 25/02722/LBC Listed Building Consent	3
Preston	Siddington Park Cirencester Road Gloucestershire GL7 6GU 24/02513/FUL Full Application	4

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Reserved Matters pursuant to outline permission 16/00054/OUT relating to appearance, layout, landscaping and scale for the erection of 100 dwellings, landscaping and public open space for Phase 2 A of the development, and discharge of conditions 11, 16, 18, 48, 56 at Chesterton Farm Cranhams Lane Cirencester Gloucestershire GL7 6JP

Approval of Reserved Matters 25/02763/REM	
Applicant:	Keepmoat Homes
Agent:	Pegasus Planning Group Ltd
Case Officer:	Julian Pye
Ward Member(s):	Councillor Ray Brassington
Committee Date:	14 January 2026
RECOMMENDATION:	APPROVAL OF RESERVED MATTERS SUBJECT TO CONDITIONS

1. Main Issues:

- (a) Layout
- (b) Appearance
- (c) Scale
- (d) Landscaping
- (e) Environmental Performance

2. Reasons for Referral:

- 2.1 Successful delivery of a sustainable, high quality development on the Strategic Site south of Chesterton (Policy S2) is central to the Council's adopted Local Plan strategy. In accordance with the Council's scheme of delegation, officers consider it appropriate to report this application for approval of reserved matters pertaining to sub-Phase 2a of the development (The Steadings) to the Planning and Licensing Committee.

3. Site Description:

- 3.1 This application for reserved matters approval relates to a parcel of land that forms part of the wider allocated strategic site referred to as Land South of Chesterton and more recently as The Steadings. Sub phase 2a is located at the eastern end of the main site bounded by the Eastern Gateway key grouping and entrance to main Steadings development when accessed from the Spratsgate Lane entrance, via the primary village street.

- 3.2 To the north and south of the site are tranches of Primary Green Infrastructure Areas (PGIA) within the development and adjoining the site to the west are further development areas within Phase 2, namely sub phase parcels 2b and 2c.
- 3.3 The site area is approximately 2.5ha forming part of the overall outline planning permission area of approximately 120ha, which was granted planning permission in 2019. The site is divided into two main parcels of land located to the north and south of the existing primary village street and was formerly contained within a single field parcel.

4. Relevant Planning History:

- 4.1 On the 3rd April 2019, Cotswold District Council (CDC) granted outline planning permission (OPP) for a mixed-use development on the Strategic Site south of Chesterton, as per Local Plan Policy S2 (16/00054/OUT). As above, that Development is now referred to as The Steadings, and includes up to 2,350 new homes. The OPP was granted subject to 69 conditions, and following the completion of two section 106 agreements; i.e. one between Bathurst Development Limited (BDL) and CDC, and one between BDL and Gloucestershire County Council (GCC).
- 4.2 In March 2021, CDC approved a Site Wide Design Code (SWDC) pursuant to OPP condition 9. It provides a skeletal structure for post-outline master planning work. OPP condition 10 requires the submission and approval of a Detailed Design Code (DDC) for each sub-area of The Steadings and in April 2025, CDC approved a DDC for sub phases 2a,b and c and 2d and e of the development.
- 4.3 In brief, the DDCs are required to prescribe, at a greater level of resolution than the SWDC, how agreed urban design principles are to be applied within the sub-area/phase in question. Subsequent Reserved Matters Applications (RMAs) are required to accord with the relevant approved DDC and the SWDC.
- 4.4 In November 2021, CDC granted reserved matters approval for the development of phase 1a for 69 dwellings and associated green infrastructure. This sub phase is practically complete and the majority of properties are now occupied.
- 4.5 Following the granting of the OPP and the approval of the SWDC, the master developer (BDL) has also progressed the delivery of strategic infrastructure, including the first part of the primary village street off Spratsgate Lane, including a new highway junction in addition to strategic green infrastructure.

- 4.6 In December 2023, CDC granted reserved matters approval for the first section of the Primary Enhanced Street to serve sub phases 2a, b and c of the development.
- 4.7 2.6 In December 2023, CDC granted reserved matters approval for the first section of the Primary Green Infrastructure to serve sub phases 2a, b and c of the development.

5. Planning Policies:

5.1 National

- National Planning Policy Framework (NPPF) - updated December 2024.
- Planning practice guidance (PPG).
- National Design Guide - October 2019.

5.2 Cotswold District Council - Climate and Ecology

- Climate Emergency Strategy 2020-2030
- Ecological Emergency Action Plan

5.3 Cotswold District Council Local Plan Policies:

- S2 - Strategic Site, south of Chesterton
- EN1 - Built, Natural & Historic Environment
- EN2 - Design of Built & Natural Environment
- EN4 - The Wider Natural & Historic Landscape
- EN7 - Trees, Hedgerows & Woodlands
- EN8 - Bio & Geo: Features Habitats & Species
- INF1 - Infrastructure Delivery
- INF2 - Social & Community Infrastructure
- INF3 - Sustainable Transport
- INF7 - Green Infrastructure
- INF8 - Water Management Infrastructure

6. Observations of Consultees:

- 6.1 The Council has undertaken two consultation exercises in relation to this application (on the original and then subsequent revised plans). Summaries of all responses to the consultation on the application are included below and the responses are available in full on CDC's website.

6.2 The Officer's Assessment (see section 8 of this report below) reflects a project team approach to the Councils appraisal of the proposed design. It incorporates advice from the following internal consultees:

- Conservation and Design Officers
- Landscape Officer
- Tree Officer
- Biodiversity/Ecology Officer

6.3 **Responses to the first consultation exercise, September 2025**

The comments below relate to the original application proposals and were received in response to the first consultation in September/October 2025.

6.4 **CDC Biodiversity Officer**

6.4.1 No objection. The submitted Ecological Compliance Statement and baseline is accurate and considered sufficient to demonstrate compliance with outline planning permission conditions.

6.4.2 The individual proposals for BNG for this sub phase will need to be considered as part of the overall approach to deliver habitats and BNG for the entire development. In consideration of the site clearance and preparatory works which have already been undertaken on the site, the information within the technical note is sufficient to demonstrate compliance with condition 56 of the OPP.

6.5 **CDC Landscape Consultant**

No objections: some recommendations on suitable revisions to the scheme, such as revised species, methods of planting which have been considered by the applicant team and used as the basis of revised plans and proposals.

6.6 **CDC Tree Officer**

No objections, subject to correction of Plan no 3227-APA-ZZ-XX-DT-L-3005 REV02 to specify topsoil.

6.7 **CDC Conservation and Design**

6.7.1 Amend the scheme or maintain an objection. Various issues and required revisions were sought to make the scheme acceptable, including, amongst other things:

General

- Revised street elevations

- Roof pitches
- Window hierarchy, scaling and proportions
- Require cill and lintel details
- Add further chimneys

Unit Design, boundaries and materials

Need to revise and refine various house types, including

- Removal of car ports
- Refine form and window/door placement
- Awkward relationships and attachments such as proposed FOG within the focal space
- Refine southern and northern edges
- Remove unacceptable house types
- Remove unsympathetic details/features such as balconies
- Refine boundary treatments – confirm stone walling and estate railings where appropriate
- Confirm suitable materiality and finishes

6.8 **CDC Environmental Health**

Contamination

6.8.1 Although this application is not expressly seeking discharge of Condition 55 for this phase, the information provided by this technical assessment does indicate that no significant land contamination was found by ground investigations carried out in 2022. The Officer concurs with the conclusion of the report that no significant ground contamination was discovered but that a reactive approach should be adopted during the development phase to identify and assess any contamination not previously identified during the ground investigation

Air Quality

6.8.2 The electric vehicle charging provision is considered to be satisfactory. Consequently, discharge of condition 48 for Phase 2a of the development is recommended.

6.9 **GCC - Lead Local Flood Authority**

No objections - Information provided with this application complies with requirements for reserved matter with respect to flooding and drainage as defined in planning permission 16/00054/OUT. The LLFA recommend that suitable detail has been submitted with this application for discharge of conditions 16 and 18 of that permission, although it stresses that future maintenance plans should be made available in the future.

6.10 **GCC Archaeologist**

No objections. Archaeological matters are being dealt with under outline application 16/00054/OUT and an agreed mitigation strategy approved under condition 50. The details submitted are noted and no comments were considered necessary in relation to this reserved matters application.

6.11 **Minerals and Waste - GCC**

No objections but noted that Condition 48 of the OPP requires both a waste and soil management schedule and confirmation required that this has been dealt with. Further details regarding the proposed refuse strategy could be referred to Waste Services.

6.12 **Thames Water**

No objections

6.13 **Environment Agency**

Chose not to comment.

6.14 **Historic England**

No requirement to comment on the application.

6.15 **Highways Officer (Gloucestershire County Council)**

6.15.1 Gloucestershire County Council (GCC) Highways, acting in its capacity as a statutory consultee, undertook a full assessment of the reserved matters application proposals and was also involved through the pre-application process.

6.15.2 No objections to the proposed scheme, but a required deferment to enable further revisions to the proposals, which can be summarised as follows:

- revisions to the layout of specified junctions to ensure suitable tracking and turning facilities;
- revisions to the height of specified enclosure/walling were positioned within visibility splays;
- confirm safe refuse collection points
- clarify any proposed vertical deflections on the adoptable highways
- confirm details of connectivity of footways/cycleways to adjacent areas eg PGIA etc
- Ensure any on plot parking/driveways are of sufficient depth

6.16 Gloucestershire Constabulary – Designing out Crime

6.16.1 Objection.

6.16.2 Concerns raised in respect to the use of rear parking courts within the site layout. Such rear parking can often be underutilised and sometimes abused, leading to car crime and on street issues. The scheme could have been designed differently with frontage in curtilage parking/access a priority, including the reorientation of houses facing onto the Primary Village Street, providing more active streets/frontages. Some further concern about taller enclosure of gardens reducing surveillance and some lack of definition on defensible spaces. The scheme requires a suitable lighting scheme and apartments should have clear drop off and delivery points. The submitted supporting material should provide a clear reference to designing out crime.

6.17 Responses to the second consultation exercise, November/December 2025

The comments below were received in response to the second focused consultation exercise carried out at the end of November/beginning of December 2025. They relate to the revised application proposals as described in this report.

6.18 CDC Conservation and Design

6.18.1 There have been various design revisions in response to previous advice and concerns expressed and the scheme has been improved to a sufficient degree and is now generally acceptable.

6.18.2 There remain a few outstanding detailed matters that require further attention/refinement, including boundary treatments, materials and finishes. These can be confirmed in due course and appropriate conditions applied in order to manage the design quality and implementation.

6.19 GCC Highways

6.19.1 Gloucestershire County Council, the Highway Authority acting in its role as Statutory Consultee has undertaken a full assessment of this planning application. Based on the appraisal of the development proposals the Highways Development Management Manager on behalf of the County Council, under Article 18 of the Town and Country Planning (Development Management Procedure) (England) Order, 2015 has no objection to the revised plans, subject to the introduction of suitable conditions and financial obligations.

6.19.2 The suggested conditions relate to visibility splays, parking details, cycle parking, electric vehicle charging points, a residential welcome pack and a construction management plan.

6.20 The Local Lead Flood Authority (LLFA)

The LLFA has no objection to the revised scheme, and considers that suitable detail has been submitted for discharge of conditions 16 of the OPP. In respect of Condition 18, (maintenance plan for the drainage features of the development), it will be important for the LLFA to see that detail and see how records of maintenance will be maintained by management companies. While the information provided with this application satisfied the requirements for the reserved matters, the LLFA would like confidence that the maintenance plan will include provision of maintenance records that are available to the LLFA.

7. View of Town/Parish Council:

7.1 Objection raised based on a holding response to the original submission: Key concerns were raised in respect of the following issues:

7.1.1 General Design: Conservation Officer has raised a number of issues with regard to unit design, windows and roof pitches.

7.1.2 Parking Courts: Gloucestershire Constabulary has raised concerns regarding the functionality of parking courts and the apparent lack of consideration for crime prevention measures.

7.1.3 Road Safety: Gloucestershire County Council Highways has highlighted issues related to road widths, emphasising the need to ensure safe access for emergency services and waste collection vehicles, as well as the provision of safe and accessible bin collection points and driveway/parking bay sizing.

7.1.4 Energy Efficiency: Greater clarity is required on the proposed use of solar panels and their fundamental role in enhancing the overall sustainability of the development.

7.1.5 Green Infrastructure: There is a need for increased planting and greening to strengthen the site's green infrastructure and contribute to environmental and aesthetic benefits.

7.2 Response to the second consultation exercise, November/December 2025

Cirencester Town Council's response to the re-consultation will be reported to members as part of any addendum and updated information.

8. Other Representations

8.1 Community representations

Objections received from one member of public summarised as follows:

8.1.1 The combination of the design code requirements and the village street have resulted in a reliance on rear parking courts in this sub phase. This might not be the most appropriate design solution and concerns have been raised by the Designing out Crime Officer.

8.1.2 The proposals are mimicking the appearance of more traditional forms of development within sensitive areas of the Cotswolds. Given the scale of The Steadings overall, a more innovative approach could be taken. The scheme could be developed at a higher density.

8.2 Cirencester Civic Society

No objections/support but raise a number of issues for consideration:

8.2.1 Difficult to read through and consider every detail in the 147 documents submitted with this application in the time provided

8.2.2 Security. The 'Designing out Crime Officer' has drawn attention to the vulnerability of crime and anti-social behaviour in the proposed rear parking areas.

8.2.3 Banishing cars to the rear of properties clearly benefits street scenes but the porosity of these areas is questionable.

8.2.4 Bin storage and the size of gardens. There is considerable variation in the sizes of gardens and some look very small.

8.2.5 Deliveries. Have convenient drop-off points to temporarily park vans, close to front doors been full considered? Does the design allow for secure deliveries adjacent to front doors?

8.2.6 Porches. There is scope for more variety in the design of the porches. This would provide visual relief where rows houses are identical.

8.2.7 Trees. Attractive lines of trees along the boulevard are welcome but the trees at the rear of properties are far fewer and more ornamental in stature.

8.2.8 An effective maintenance strategy for all landscape features is critical, particularly watering in time of drought during the first few years after planting.

8.2.9 Pedestrian routes. These appear to have been generally well-considered but convenient circular routes for dog-walkers from each house should be checked.

8.2.10 Renewable energy features. None are shown. Would be possible to include solar panels and air source heat pumps, particularly on elevations, to make it more likely that they are properly integrated, rather than left to householders to seek to add them later in a haphazard way?

8.2.11 Communal areas not suitable for adoption by GCC - how will these be managed and maintained.

8.3 **Responses to the second consultation exercise, November/December 2025**

One objection received from a member of public, summarised as follows:

8.3.1 The proposals need to be re-designed; the combination of the design code requirements and the village street have resulted in an inefficient layout and reliance on rear parking courts in this sub phase. This is not the most appropriate design solution and concerns have been raised by the Designing out Crime Officer. A greater extent of terraced houses could also be introduced in light of the inefficient use of space such as the northern edge (detached units)

8.3.2 The proposals are mimicking the appearance of more traditional forms of development within sensitive areas of the Cotswolds. Given the scale of The Steadings overall, a more innovative approach could be taken, and the development (as a whole) could have its own unique identity;

8.3.3 The density of the development should be increased; roof spaces should be utilised, and any garaging should be replaced by additional living floorspace.

9. **Applicant's Supporting Information:**

9.1 The original application for reserved matters approval was submitted in September 2025.

9.2 All documents and drawings, as described by the Applicant's team, were submitted with this application and are available to view on the Council's website.

9.3 Following further negotiations with the applicant, the applicant team formally submitted revised application material at the end of November 2025. The revised material provided the following revised information:

- (a) Revisions to the site layout, including development blocks, tracking, parking and streets
- (b) Revised house types
- (c) Revised boundary treatments and landscaping
- (d) Revised material palette
- (e) Revised street scenes
- (f) Revised details eg window headers and cills

The above information was made available to view on the Council's website to inform the consultation exercise.

10. Officer's Assessment:

- 10.1 The case officer's conclusions on each of the key issues are set out in turn below, based upon the revised application material submitted towards the end of November 2025, as above.

Scope of this application

- 10.2 As indicated above, this application for reserved matters approval, relates to the first sub phase (2a) of phase 2 of the development. The principle of development was established by the outline planning permission. The Council and the applicant have therefore moved beyond the question of whether development should take place to the question of what form, layout, appearance and detail it should take.
- 10.3 The reserved matters appropriate to this consideration are layout, scale, appearance and landscaping. They have been considered in context of the relevant national and local planning policies and specifically within the context of the outline planning permission and related design codes.

The Design codes

- 10.4 The SWDC was previously approved in 2021 and a detailed design code for sub phases 2a to 2c was approved earlier in 2025. The SWDC and the DDC should be read in conjunction with the OPP – the Outline Framework. The Cotswold Design Guide is also applicable to The Steadings being part of the Local Plan.
- 10.5 The SWDC sets out how Bathurst Development Limited ("BDL") is the Master Developer for The Steadings and confirms that BDL is committed to providing a high quality development, which meets the needs of the local community, Cirencester, and the District.
- 10.6 The SWDC describes the intended architectural character for The Steadings, which reflects the Local Plan Framework. The Development is expected to be more contemporary in style, reflecting the qualities of traditional architecture of the area, including materials, proportions and roof forms, to ensure local distinctiveness. Buildings should also utilise new technologies and best practice to address the environmental and social concerns of today.
- 10.7 The DDC builds upon and is consistent with the SWDC and sets out that "the second phase of residential development at The Steadings will form part of a prominent gateway into The Steadings from the East. It is therefore incredibly

important that the proposals for this area reflect the site-wide aspirations for high quality design and provide an appropriate introduction to the settlement as a whole.

- 10.8 The Reserved Matters Applications will be expected to demonstrate an architectural character that is a 21st century interpretation of the Cotswold vernacular, reflecting the local character in a contemporary way. The arrangement, scale and materiality of the homes will adapt to the variations in character and form that are proposed through the design codes in response to the locality, which will help to create an easily understood sequence of streets and spaces.
- 10.9 Townscape features within Parcels 2a, b and c should include Eastern Key buildings, Focal corner across key neighbourhood access points, Marker Buildings and Focal Spaces.”
- 10.10 A mix of family housing of c.40 dwellings per hectare (gross) has been provided, including a mix of house types and apartments that seek to address the key requirements for this part of Phase 2, namely the key entrance, marker buildings/groupings, northern and southern open space edges and engagement with the primary village street, whilst meeting identified housing needs.

The scheme in summary

- 10.11 This application relates to a scheme of 100 dwellings with associated areas of green infrastructure, planting and highway. The scheme comprises a mix of dwelling types, including the requirement for marker buildings at the eastern edge, the first phase of development fronting onto the primary village street and forming the first sections of the northern and southern edges onto strategic open space (PGIA).

The development plan

- 10.12 Planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise. The development plan is the Cotswold District Local Plan 2011-2031, which was adopted on the 3rd of August 2018 (the Local Plan). Officers have therefore assessed the proposals against the relevant policies and Appendix B of the Local Plan, which sets out the Vision and Objectives for The Steadings.

The master planning process for The Steadings

10.13 The creation of high-quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work, and helps make development acceptable to communities (NPPF par 131, page 39). The Local Plan describes how the master planning process for The Steadings will ensure that all aspects of development are properly addressed, including layout, landscape, density, the mix of uses, scale, materials and detailing. The key tenets of the post-outline approval master planning and urban design regime for The Steadings are described in summary below.

- The Local Plan framework, which sets clear expectations for the quality of The Steadings
- Development and how this can be maintained.
- The OPP framework, which includes the approved drawings and documents, the section 106 agreements, material approved pursuant to conditions, and material that supported the OPA.
- The Site Wide Design Code approved by CDC pursuant to OPP condition 9.
- Any DDCs approved by CDC pursuant to OPP condition 10.

10.14 Design coding is fundamental to the regime described above.

Development context

10.15 Bathurst Developments Limited (BDL) is the Master Developer for The Steadings and has committed to work with CDC in managing and controlling the master planning process to ensure that the proposed Development delivers the shared vision. In doing so, BDL continues to deliver and plan for the delivery and management of the primary infrastructure for the development as a whole.

10.16 This sub phase of development is significant in delivering the first and easternmost sub phase (of phase 2), west of the new access onto Spratsgate Lane and in part, facing onto the primary village street as well as areas of primary green infrastructure to the north and south of the parcel.

Meeting local housing need

10.17 Policy H1 states that all housing developments will be expected to provide a suitable mix and range of housing in terms of size, type and tenure to reflect local housing need and demand in both the market and affordable housing sectors, subject to viability. Developments should meet the needs and aspirations of people requiring market and affordable housing and developers will also be required to comply with the NDSS.

- 10.18 In addition to making an appropriate contribution to meeting local housing need, officers are keen to ensure the proposals optimise the potential of the site to accommodate an appropriate amount and mix of development, including green infrastructure and public space. Striking the right balance between the built development and related green space is critical to achieving a sustainable, high-quality development. In this regard the relationship with the PGIA is also an important consideration of this sub phase.

Affordable Housing

- 10.19 Policy H1 requires that any affordable accommodation with two or more bedrooms will be expected to be houses or bungalows unless there is a need for flats or specialist accommodation. Policy H2 stipulates that the type, size and mix, including the tenure split, of affordable housing will be expected to address the identified and prioritized housing needs of the District.
- 10.20 The section 106 agreement includes obligations relating to the phased provision of affordable housing across the Development. The agreement stipulates that 30% of the dwellings across the Development shall be provided as Affordable Housing. The percentage for each Phase or Sub-phase may be higher or lower than 30%, subject to the Development as a whole meeting the Agreed Provision. The distribution of Affordable Housing is controlled through the approved Phasing Plan, which stipulates that Phase 2 will include 31% Affordable Housing.
- 10.21 The revised application proposals include the provision of 31 affordable homes (31%) in accordance with the Outline Planning Framework, comprising 65% Affordable and shared Rented Units and 11% Shared Ownership Units (as defined in the section 106 agreement). The proposed level of provision is consistent with the approved Phasing Plan. The mix of affordable homes is set out in the table below.
- 10.22 Officers consider that the proposals are acceptable in context of the specific requirements of this sub phase and the related housing mix, which includes a variation with an increase in the number of smaller affordable units and market housing.

Housing Mix

- 10.23 The proposed housing mix for sub phase 2a is set out below:

Size	Market	Affordable	Total
1-bed apartment	5	8	13
2-bed apartment	3	0	3
2-bed Flat Over Garage (FOG)	5	2	7
2-bed house	11	12	23
3-bed house	36	6	42
4-bed house	7	3	10
5-bed house	2	0	2
Total	69	31	100

10.24 The following table sets out the proposed housing mix compared with the Council's housing needs assessment (2019) (informed by the suggested market mix from the SHMA).

10.25 The two main variations are the overall housing mix and an increase in 1 and 2 bed units and the reduction in 4 bed or larger units. As such, it is proposed to deliver a higher percentage of 1 bed AH and fewer 3 bed AH homes, albeit by virtue of the revised overall housing mix, there will also be a greater number of 2 bed AH and fewer 3 and 4 bed AH.

Market Housing			Affordable Housing	
	CDC	Proposed	CDC	Proposed
1 bed	4%	7% (+3)	19%	26% (+7)
2 bed	14%	28% (+14)	45%	45%
3 bed	51%	52% (+1)	27%	19%(-8)
4 bed	31%	13%(-18)	9%	10%(+1)

10.26 Given the nature of sub phase 2a, including the requirement for the inclusion of key marker buildings (apartments) and the requirement to appropriately address both the northern and southern landscape edges, relates to the primary street and the resulting reliance upon parking courts in part, it is understandable that there might need to be a variation to the overall housing mix to enable the required number of homes to be delivered on the site. The s106 requires this justification to be agreed with the Council and this is set out

within the submitted Planning Statement in respect of the specific conditions for sub phase 2a.

10.27 It is logical to assume that proposals for individual sub phases will involve some variation to the Outline Framework indicative mix, given relevant variations to development form and parcel requirements across The Steadings scheme. The proposals accord with the requirement to provide 31% affordable homes (as part of Phase 2) but with a degree of variation on the mix which officers consider is acceptable and should not have a detrimental impact upon achieving the overall required housing mix as set out previously and which might be subject to future review/update over the lifetime of the project.

10.28 The applicant has provided the following justification for the variation to the housing mix:

- *The nature of the site and the imposition of the Design Code means there are a number of constraints to delivering larger units including, but not limited to, the need to include key marker buildings (apartments) within this Phase of the development (which results in the provision of more apartments) and the need to introduce parking courts to meet the Council's preference to avoid frontage parking along the Village Street*
- *The applicant, Keepmoat, is partnered with a Registered Provider (Bromford), who has full board approval based on the mix proposed.*
- *The skew in favour of smaller units for the market housing should, in our view, be welcomed. It is a common criticism of a number of major residential schemes that developers overprovide larger 'executive' 4 and 5 bed units in order to maximise profits, but which are potentially financially unobtainable for local communities and make less efficient use of land. 2 bedroom homes are more likely to be within the means of first-time buyers and young families, whose housing needs should be served. In addition, this is one Phase in a large strategic site with multiple phases and each Phase may differ slightly in terms of the precise mix giving scope for rebalance across the whole site.*
- *The skew in favour of smaller units for the affordable housing is supported by the RP. The profile/family size of persons on the local housing register will be fluid, and there is scope for rebalance during the later phases should the requirement for more 3 bed properties remain.*

10.29 The approach and the justification are considered reasonable and represent a relatively minor variation in context of the development as a whole.

Optimising the Site's Development Potential

- 10.30 The NPPF stipulates that planning decisions should promote an effective use of land in meeting the need for homes and other uses. It also makes it clear that this involves optimising the potential of the site to accommodate and sustain an appropriate amount and mix of development, including green space. Similarly, Policy EN1 requires a balance to be struck between new development on the one hand, and the need to provide and enhance green infrastructure, and avoid habitat loss and fragmentation, on the other. Getting this balance right is critical to achieving sustainable, high-quality development.
- 10.31 Sub phase 2a is located directly adjacent to areas of PGIA to the northern and southern boundaries along with the more open eastern edge which faces onto the entrance and primary village street as it enters the development from Spratsgate Lane. The parcel of development forms just one sub phase of the overall phase 2 of The Steadings and thus, there is no specific requirement to provide any additional areas of significant green infrastructure and public open space within the red line. Future residents will have direct walkable access to the areas of primary green infrastructure along with other incidental spaces that will be delivered within the sub phase.
- 10.32 The proposals do, however, provide a suitable mix of dwelling sizes with all housing having private gardens of suitable size with larger homes enjoying additional space per plot but not to the detriment of the smaller homes. In addition, planting and landscaping is proposed such as within the focal space and the introduction of street trees where appropriate. Further details have been requested regarding details of revised planting pits, species, focal space and wildflower planting.

Landscaping

Biodiversity Net Gain

- 10.33 The Environment Bill created a new requirement in planning legislation for a 10% biodiversity gain for new developments. The government will use the Defra Biodiversity Metric to measure changes to biodiversity. Members should note that this requirement came into force some time after the determination of the OPP.
- 10.34 Moreover, BDL has agreed that 10% biodiversity gain should be the starting point target for The Steadings as a whole. The Outline Framework creates an opportunity for around 15 ha on the main site to be managed specifically for biodiversity (i.e. 37% of the designated main open green spaces, or 12.5% of

the overall OPP site area). Early application of the Metric to the Development as a whole indicates that the agreed 10% starting point target should be achievable.

10.35 OPP was granted subject to an approved Ecological Mitigation and Management Framework

10.36 (EMMF), which describes how The Steadings will deliver biodiversity net gain (BNG) in accordance with local and national planning policy. CDC and BDL have also agreed a process to deliver a minimum of 10% BNG across The Steadings Development as a whole (including any off-site contributions if required to meet the overall 10% target).

10.37 BDL's stated aims for that process are as follows.

- Deliver a minimum of 10% BNG (in area and linear) across the Development as a whole (and/or provide an off-site contribution of required equivalent to achieve the overall 10%).
- Maximize BNG on each parcel (Sub-Phase) as they come forward and where relevant.
- Have a framework to demonstrate what is expected on each parcel, with certain assumptions.
- Have a simple and efficient control mechanism to deliver the net gain.
- Have an efficient mechanism to monitor net gain throughout the delivery process.

10.38 To demonstrate how its aims could be met, BDL previously commissioned consultants to undertake a Biodiversity Impact Assessment (BIA) of The Steadings Development as a whole, based on the OPP proposals. The BIA sets out a framework for how each Phase/Sub-Phase will contribute towards meeting a minimum of 10% BNG as described above. Not surprisingly, it shows that the level of achievable BNG is likely to vary across Sub-Phases and clearly the areas of PGIA will deliver a significant amount of BNG.

10.39 The BNG monitoring arrangements described above will continue to evolve as the Development progresses and each phase/sub phase will be assessed against the overall BNG requirements. Given that CDC and BDL have already agreed the overall objectives, officers are confident that the monitoring arrangements can continue to be refined to the satisfaction of all concerned.

10.40 The site has been cleared for the start of construction works and there was no evidence protected species. The initial section of the Primary Village Street has

been constructed. Where the site has been cleared and allowed to remain, ruderal vegetation has colonised but there were no priority habitats present at the time of the survey.

- 10.41 In context of the site wide strategy for BNG, the development of sub phase 2a will result in a net loss, but it is also worth noting that sub phase 2a contains no public open space and measures to support species set out within the EMMF are very limited and will be largely dealt with as part of the wider development. Of the 2.5 ha of the site, 1.96 ha will not deliver any post development BNG units. The remaining 0.6 ha of vegetated gardens deliver 1.08 habitat units, leading to an overall loss of 3.89 habitat units in total. As such, 5.47 units off site will be required off site which will require an area of circa 0.7ha to deliver the required gain and which future phases will deliver in accordance with the requirements of the outline permission.

Landscape Strategy

- 10.42 Given the relatively modest size of the sub parcel as part of the overall Steadings development, the proposed scheme relies upon and directly relates to the strategic landscaping being implemented in phases by BDL. This is primarily related to the PGIA which wraps around the northern, eastern and southern edges of the site.
- 10.43 The proposed development will face onto and address the PGIA as well as providing direct pedestrian access to the open space and areas of play that will be provided. In addition, the proposed landscape strategy for sub phase 2a relies upon tree and hedge planting within the street scene, along with other smaller shrubs and herbaceous planting. The larger trees and more robust hedging will be located in the higher order streets.
- 10.44 Planting will also be used to define key pedestrian movement routes and front gardens are proposed for a majority of the new dwellings. A featured focal space is proposed within the north block which could support a feature tree and relevant surface treatment.

Amenity spaces

- 10.45 Two key amenity spaces are proposed within the scheme – a focal space within the northern block and a pedestrian/cycle route through the southern block towards the PGIA. There will be planted verges and tree planting where relevant with a combination of street trees and feature trees throughout the site.

Layout

Block Structure

- 10.46 In general terms, the public edges of the proposed development blocks are defined by frontage development which is very positive in urban design and placemaking terms, providing natural surveillance and enclosure of associated streets and public realm. Similarly, the proposed dwellings will face onto the northern and southern edges of the site, facing onto the PGIA, along with the eastern entrance into the site from the primary village street.
- 10.47 Building setbacks are generally modest providing smaller areas of private/defensible place with private gardens to the rear. This will help reinforce the strong sense of enclosure but will also limit, in some streets, the ability to provide avenue street trees. This tighter enclosure of tertiary residential streets is also in keeping with the local vernacular evident throughout the existing town.
- 10.48 There is a variety of parking solutions within the sub phase, but given the nature of the site and its relationship with this first section of the primary village street (no direct vehicular access from private driveways) and the relative shallowness of the development blocks both to the north and south of the primary street, there is more of a reliance upon courtyard parking to the rear of dwellings. This helps facilitate the provision of terraced development along with reducing a reliance upon on -street parking but also enables secure rear parking and direct access to houses fronting onto the primary street. Officers support this principle, where courtyards are arranged within block interiors, ensuring that car parking will not overly dominate the public realm. Attention must then be provided to the quality for the parking courts along with natural surveillance and safety and security issues.
- 10.49 Officers worked with the applicant team at pre-application stage to help re-design certain aspects of the layout, including the northeastern block, replacing an internal street with rear courtyard parking. This enabled a more positive layout and relationship between dwellings, including a stronger terrace of dwellings on the easter edge, whilst reinforcing the strong enclosure of streets. This accords with the requirements of the SWDC which notes that buildings should address routes and spaces and should address open spaces to provide natural surveillance. Buildings should have a coherent relationship with roads and spaces, and corner plots should be resolved.

- 10.50 Officers remain supportive of the proposed design approach described above and as revised, subject to the ability to provide suitable planting within streets and the parking courts where relevant, combined with a relevant palette of materials and finishes (see below).

Movement and connectivity

- 10.51 The proposed scheme provides a suitable movement framework consistent with the OPP and the SWDC, whereby streets and routes would provide suitable connectivity and permeability between development blocks and where streets connect directly with the primary village street, footways leading to the PGIA and will connect directly to subsequent sub phases of development to the west where appropriate (2b and c).
- 10.52 The proposals include a simple and suitable hierarchy of streets, including tertiary streets, a focal space, a central pedestrian link within the southern block that leads to the southern PGIA. Other footways/cycleways are provided and also the provision of a small number of private drives, primarily to the northern and southern edges of the scheme, where houses will face onto the PGIA.

Highway Safety

- 10.53 GCC have reviewed the resubmission from the applicant and are satisfied that the concerns previously raised in GCC comments (2nd of October, 2025) have been addressed or can be conditioned. GCC insist that technical approval must be given and S38 works are signed before any work is commenced on site, with GCC supervision approved.
- 10.54 The Highway Authority has undertaken an assessment of the planning application. Based on the analysis of the information submitted the Highway Authority concludes that there would not be an unacceptable impact on Highway Safety or a severe impact on congestion. There are no justifiable grounds on which an objection could be maintained.
- 10.55 The Highways Officer has recommended conditions ensure that pedestrian visibility splays are implemented prior to occupation. Combined parking, cycle parking and electric vehicle charging point and residential welcome pack (which provides guidance for sustainable travel options) details are required to ensure the development is sustainable and promotes healthy communities. A condition for a construction management plan will help to ensure safe operation of the development and in the interests of the longevity of street trees and overall

environment further details of the provision of street tree planting has been requested.

Relationship between buildings and private amenity spaces

- 10.56 There is a clear definition between public and private space, with the majority of dwellings enjoying private gardens to the rear. The notable exceptions to this are the proposed flats over garage units and the apartments (marker buildings), although with the latter, there is also associated amenity space at ground floor level.

Appearance

Architectural style

- 10.57 The proposed development would provide a range of buildings from single to three stories in height (the single storey buildings are essentially ancillary structures, such as garages). The tallest of the buildings would be the two marker buildings situated on the eastern edge of the sub phase and forming the entrance to the development as they straddle the primary village street; otherwise, the majority of the proposed dwellings are two storeys in height.
- 10.58 Most of the house type designs exhibit an appropriate vernacular flavour with the use of traditional forms, roof pitches and detailing, including the introduction of chimneys on the majority of the dwellings. Officers have negotiated a number of revisions to the proposed scheme in ensuring that the proposed designs are more in keeping with the requirements of the design codes and the design guide. This has included revisions to various house types (including the omission of house types considered less favourable), such as regularising and revising the proportions and placement of windows and doors, introducing chimneys (as above), removing unsympathetic features, revising external balconies, introducing header and cill details to fronts and rears, simplifying porch details and revising means of enclosure etc.
- 10.59 The proposed apartment buildings have perhaps provided the biggest challenge, and officers have discussed with the applicant team a range of options and iterations for these two important marker buildings within the scheme. The revised proposals are now considered to be acceptable in context of the sub phase as whole.

Materials and finishes

- 10.60 Officers had concerns with some of the materials and finishes originally proposed and the revised proposals have addressed the majority of these issues, confirming for example, the use of natural stone for dwellings fronting the primary village street, the use of reconstituted stone tiles for roofs, roughcast cream render, red brick for relevant ancillary buildings and Fogs, with natural slate roofs, the use of different paving on lower order streets, private drives and focal spaces. The materials proposed now accord with the approach set out within the SWDC and DDC although conditions will still be required in order to manage the appropriate quality and finishes through the delivery and implementation stages of the project.
- 10.61 Additional stone walling has been requested to provide enclosure to the front gardens of a number of plots, for example fronting onto the focal space, and in other parts of the scheme. Additional estate fencing has also been requested to enclose a number of front gardens and alongside the PGIA.
- 10.62 The palette of colours proposed is generally acceptable although officers have raised some concern with the use of a pea green finish for a smaller number of dwellings (mainly to the northern edge of the scheme). As above, conditions can be applied to an approval of the RMA that will enable the Council to suitably manage and control the approved colours and finishes.

Scale

Building heights

- 10.63 Officers are satisfied that the building heights and the three-dimensional envelope of the proposed scheme is consistent with the Outline Framework and the SWDC/DDC.

Types of concern

- 10.64 Officers had concerns about the original proposals for the key marker buildings (the apartments) along with other house types/detailing, including the flats over garages. There have been a number of iterations of alternative designs which have resulted in the latest revised proposals submitted towards the end of November, now being considered by the Committee. The revised proposals are considered acceptable in respect of the form and articulation of the buildings, their relationship with the primary village street and the PGIA, the rhythm and

proportion of window and door openings and their contribution to the street scene.

Building Performance

- 10.65 The current government has continued with plans to radically improve the energy performance of new homes through the introduction of the Future Homes Standard ("the FHS") by 2026. Homes built under the FHS will be zero-carbon ready. Their levels of energy efficiency will enable them to become zero-carbon homes, without any retrofitting, as the electricity grid continues to decarbonize. There will be a consultation on the new standards which are now predicted to be operational by the end of 2026.
- 10.66 The government previously announced in 2021 higher levels of energy efficiency in buildings and low carbon heating (ie heat pumps or low carbon heat networks) by 2025 at the latest. There was also the interim uplift to the Building Regulations which is intended to reduce carbon emissions by 31% relative to the previous regulations from 2013. The NPPF states that "local planning authorities should...when setting any local requirement for a building's sustainability, do so in a way consistent with the Governments zero carbon buildings policy and adopt nationally described standards."
- 10.67 Local plan policy S2 allocates the strategic site for "...a sustainable, high-quality, mixed-used development..." The Chesterton Vision and Objectives (Local Plan Appendix B) elaborate on Policy S2. The Vision describes (among other things) how the development "will promote innovation in residential, commercial and infrastructure design with a view to achieving more sustainable ways of living and a place that is future-proof."
- 10.68 Policy EN1 stipulates that "New development will, where appropriate, promote the protection, conservation and enhancement of the historic and natural environment by...addressing climate change..." (among other things). Given the content of Policy S2 and Local Plan Appendix B, officers consider that the Policy EN1 requirement to address climate change is engaged in relation to The Steadings.
- 10.69 Furthermore, CDC is keen to address the climate emergency through the improvement of building performance and encourages applicants to consider LETI standards for space heating demand.
- 10.70 Space heating is the dominant driver of energy consumption in new homes (along with existing stock). It also accounts for the majority of residents energy

costs. Limiting space heating demand is therefore critical to reducing energy demand in new homes.

- 10.71 The Council's Net Zero Carbon Toolkit (2021) recommends limiting space heating demand to 15kWh/m²/yr. It also recommends limiting Energy Use Intensity to 35kWh/m²/yr. These metrics are described as key performance indicators. It should be noted that the Council's Net Zero Carbon Toolkit is not part of the development plan, nor is it a Supplementary Planning Document. As such, it is cited here as an appropriate benchmark of high standards in relation to building performance, but officers have afforded it no weight in terms of decision making through the planning process.

The Outline Framework

- 10.72 The Energy Statement submitted in support of the Master Developer's outline application described how The Steadings will continue to be designed in accordance with the nationally recognized Energy Hierarchy: i.e.
- reducing energy demand in the first instance;
 - using energy more efficiently; and
 - only then, supplying clean renewable energy where appropriate.
- 10.73 The outline planning application described how photovoltaic panels ("PV") and air source heat pumps ("ASHPs") were low-risk technologies, which could be used as part of a 'suite' of effective solutions, subject to detailed design issues. The outline application also reflected undertakings that BDL and the Council gave to the Inspector during the Local Plan examination, explaining that while no on-site energy generation was proposed, the Local Plan Vision and Development Objectives would be achieved through careful consideration of the master plan, high performance building fabric, and low-carbon energy technologies such as PV, and air/ground source heat pumps, etc.
- 10.74 The current application seeks approval of reserved matters, pursuant to the OPP. Thus, the reserved matters should be consistent with the Outline Framework, which includes the site wide Energy Statement.
- 10.75 The applicant has confirmed that their preferred strategy is to adopt a 'be lean, be clean and be green' approach and incorporate all applicable guidance within the local plan relating to carbon reductions and the construction of highly efficient and sustainable buildings which seek to minimise energy demand and CO₂ emissions as well as considering sustainable construction methods. The strategy includes low carbon solutions with the introduction of ASHP's for each

dwelling, combined with relevant building design/insulation, solar orientation/passive solar (PV's) and improved energy efficiency where possible.

- 10.76 The dwellings will be constructed using a fabric first approach to meet and exceed the current building regulation requirements, with insulation, thermal bridging and air leakage/change all improved beyond the minimum regulatory compliance levels. Furthermore, the construction of the dwellings will need to comply with future changes to regulations and building control requirements. All dwellings will have air source heat pumps to provide space heating and to meet hot water demand, In addition, photovoltaic panels will be introduced to the roofs of a number of dwellings too.
- 10.77 The applicant has advised officers that calculations based on a sample range of house types demonstrates that through the energy strategy described, the calculated as designed emissions are reduced by 65.8% over ADL 2021. Furthermore, calculations based on this sample range demonstrates that the space heating demand is below the LETI standard of 15 kWh/m²/Yr, calculated as 8.15 kWh/m²/Yr which exceeds the targets provided in the Councils Net Zero Carbon Toolkit.
- 10.78 The new homes in sub phase 2a will achieve space heating demand of *xxkWh/m²/yr*, and *EUI of between xx and xx kWh/m²/yr*. (to be updated for committee)

Sustainable drainage

- 10.79 In March 2021, CDC approved a site-wide SuDS Delivery Strategy pursuant to OPP condition 15. That Strategy is predicated on a SuDS concept that was developed to support the OPA. It includes the construction of a series of basins and swales within the PGIA.
- 10.80 Those basins and swales will store surface water runoff from the parcels, thus limiting the overall surface water runoff from the Development to the equivalent greenfield runoff rates, with an allowance for climate change. In effect, surface water runoff from the completed Development, including sub phase 2a, will not exceed that from the undeveloped site, and will not increase the risk of flooding beyond the site.
- 10.81 In accordance with Local Plan Policy INF8 and CDC best practice guidance on green and blue infrastructure, the SuDS basins and swales will be multifunctional assets; i.e. preventing surface water runoff, contributing to biodiversity net gain, and enhancing the character and appearance of green public spaces within The Steadings.
- 10.82 There is limited space within sub phase 2a and as, above, no additional provision of significant public open space. As such, the proposed development

will drain into the adjacent Suds system but also provide additional on site attenuation where required.

11. Conclusion

- 11.1 As indicated above, the principle of development is established by the OPP. Implicit in the granting of the OPP is that at least one form of development should be acceptable, in context of the related planning conditions and required design coding.
- 11.2 Significant progress has been made by officers in negotiating a number of improvements to the proposed scheme, including the layout of the development, the form, design and detailing of various buildings, the energy strategy to ensure that there are low carbon heating and energy efficient buildings, consistent with the Outline Framework which described how low risk, low carbon energy technologies could be used, including improved fabric and insulation, air source heat pumps for space heating and the utilisation of photovoltaic panels where appropriate.
- 11.3 Whilst the revised proposed layout is improved in respect of responding more positively to the requirements of the OPF, the SWDC and DDC, there remain a number of issues where a balanced judgement has been made. The requirements of the highway authority related to the potential for future adoption have provided some challenges to achieving the design aspirations as set out within the OPP and the SWDC. There is a risk that tertiary and minor streets will appear 'over engineered' and overly formal whereby they will be very low trafficked streets providing nothing more than local access to private homes.
- 11.4 Furthermore, the revised suite of house types are much improved in respect of a suitable response to the requirements of the OPF and SWDC but the 'devil' will still be in the detail in respect of ensuring that design details are achieved consistently across the sub phase. These include approving suitable window and door materials, finishes, reveals, rainwater goods, eaves details, material for walling, roofing and so on. Whilst the proposals accord with the general palette of materials set out within the SWDC, officers recommend that further conditions are attached to any approval of reserved matters in order to provide suitable controls and management of design quality.
- 11.5 The submitted revised reserved matters details reflect the requirements of the approved OPP and the DDC and are otherwise considered satisfactory and in accordance with the OPP and related documents as well as the policies of the Cotswold Local Plan.

11.6 The case officer therefore recommends conditional approval of this application.

12. Proposed Conditions:

Development in accordance with approved drawings and documents

1. The development hereby approved shall be carried out in accordance with the following approved drawings and documents, including all planting, landscaping and details of all hard surfacing and other hard materials to be used throughout the development

Site Location Plan, drawing no.1410-GSA-SW-XX-DR-A-1001, Rev. P01

Unit Mix Plan, drawing no.1410-GSA-SW-XX-DR-A-1200, Rev. P07

Tenure Plan, drawing no.1410-GSA-SW-XX-DR-A-1210, Rev. P07

Site Layout Plan, drawing no.1410-GSA-SW-XX-DR-A-1310, Rev. P09

General Arrangement Plan– Sheet 1 of 3, drawing no. 3227-APA-ZZ-XX-LA-L-1002 P09

General Arrangement Plan– Sheet 2 of 3, drawing no. 3227-APA-ZZ-XX-LA-L-1003 P09

General Arrangement Plan– Sheet 3 of 3, drawing no. 3227-APA-ZZ-XX-LA-L-1004 P09

Refuse Strategy Plan, drawing no.1410-GSA-SW-XX-DR-A-1260, Rev. P08

Massing Plan, drawing no.1410-GSA-SW-XX-DR-A-1220, Rev. P06

Roof Plans, drawing no.1410-GSA-SW-XX-DR-A-1320, Rev. P08

Parking Plan, drawing no.1410-GSA-SW-XX-DR-A-1230, Rev. P08. (This plan highlights the EV charging to assist with discharging condition 48)

Detailed Materials Plan, drawing no.1410-GSA-SW-XX-DR-A-1250, Rev. P10

Housing Types– Elevations and Floor Plans

1410 - GSA - HV - ZZ - DR - A - 3101 P06 / HV-3B5P-ELEVATIONS-TYPE 1

1410 GSA BA ZZ DR A 3100 P11 - BA-3S84A / ELEVATIONS-TYPE 1

1410 - GSA - BA - 02 - DR - A - 2102 P12 / BA-3S8A-SECOND FLOOR PLAN

1410 - GSA - BA - 01 - DR - A - 2101 P12 / BA-3S8A-FIRST FLOOR PLAN

1410 - GSA - BA - 00 - DR - A - 2100 P12 / BA-3S8A-GROUND FLOOR PLAN

1410 - GSA - BB - 00 - DR - A - 2109 P11 / BB-3S8A-OPT5-GROUND FLOOR PLAN

1410 - GSA - BB - 01 - DR - A - 2110 P11 / BB-3S8A-OPT5-FIRST FLOOR PLAN

1410 - GSA - BB - 02 - DR - A - 2111 P11 / BB-3S8A-OPT5-SECOND FLOOR PLAN

1410 - GSA - BB - ZZ - DR - A - 3105 P12 / BB-3S8A-ELEVATIONS-TYPE 1-OPTION5

1410 - GSA - HY - ZZ - DR - A - 3101 P08 / HY-4B6P- ELEVATIONS

1410 - GSA - NA - 00 - DR - A - 2100 P05 / NA-2B3P-GROUND FLOOR PLAN

1410 - GSA - NA - ZZ - DR - A - 3101 P08 / NA-2B3P- ELEVATIONS

1410 - GSA - ND - ZZ - DR - A - 3101 P09 / ND-3B5P-ELEVATIONS TYPE 1

1410 - GSA - NG - ZZ - DR - A - 3101 P11 / NG-4B8P- ELEVATIONS TYPE 1

1410 - GSA - BB - ZZ - DR - A - 3105 P12 / BB-3S8A-ELEVATIONS- TYPE 1 - OPTION5

1410 - GSA - BB - ZZ - DR - A - 3105 P12 / BB-3S8A-ELEVATIONS- TYPE 1 - OPTION5

1410 - GSA - FB - ZZ - DR - A - 3100 P05 / FB-2B4P- ELEVATIONS - TYPE 1

1410 - GSA - FE - ZZ - DR - A - 3101 P07 / FE-2B4P- ELEVATIONS- TYPE1

1410 - GSA - GB - ZZ - DR - A - 3101 P06 / DOUBLE GARAGE-TYPE 1- ELEVATIONS & PLANS

1410 - GSA - GB - ZZ - DR - A - 3102 P05 / DOUBLE GARAGE-TYPE 2- PLANS & ELEVATIONS

1410 - GSA - GA - ZZ - DR - A - 3101 P06 / GA SINGLE GARAGE - TYPE 1 PLANS & ELEVATIONS
 1410 - GSA - HA - ZZ - DR - A - 3100 P09 / HA-2B3P-ELEVATIONS-TYPE 1&2
 1410 - GSA - HA - ZZ - DR - A - 3101 P09 / HA-2B3P-ELEVATIONS-TYPE 3
 1410 - GSA - HD - ZZ - DR - A - 3101 P09 / HD-3B5P ELEVATIONS TYPE 1D FLOOR PLAN
 1410 - GSA - HD - ZZ - DR - A - 3102 P09 / HD-3B5P ELEVATIONS TYPE 2
 1410 - GSA - HP - ZZ - DR - A - 3101 P11 / NEW DETAILS -HP-4B7P-ELEVATIONS - TYPE 1
 1410 - GSA - HV - ZZ - DR - A - 3101 P06 / HV-3B5P-ELEVATIONS-TYPE 1
 1410 - GSA - NB - ZZ - DR - A - 3101 P09 / NB-2B4P-ELEVATIONS-TYPE1
 1410 - GSA - NH - ZZ - DR - A - 3101 P09 / NH-4B7P-ELEVATIONS-TYPE 1
 1410 - GSA - NJ - ZZ - DR - A - 3101 P10 / NJ-4B8P- ELEVATIONS - TYPE 1
 1410 - GSA - NR - ZZ - DR - A - 3101 P10 / NR-4B6P- ELEVATIONS - TYPE 1
 1410 - GSA - NS - ZZ - DR - A - 3101 P08 / NS-4B7P- ELEVATIONS- TYPE 1
 1410 - GSA - NT - ZZ - DR - A - 3100 P07 / NT-3B5P- ELEVATIONS- TYPE 1 & 2
 1410 - GSA - NT - ZZ - DR - A - 3101 P05 / NT-3B5P- ELEVATIONS- TYPE 3
 1410 - GSA - NT - ZZ - DR - A - 3100 P06 / NT-3B5P- ELEVATIONS- TYPE 1 & 2
 1410 - GSA - NV - ZZ - DR - A - 3100 P04 / NV-3B5P- ELEVATIONS- TYPE 1 &2
 1410 - GSA - NV - ZZ - DR - A - 3101 P05 / NV-3B5P- ELEVATIONS- TYPE 3
 1410 - GSA - NW - ZZ - DR - A - 3101 P04 / NW-4B7P- ELEVATIONS - TYPE 1
 1410 - GSA - NW - ZZ - DR - A - 3102 P04 / NW-4B7P- ELEVATIONS - TYPE 2
 1410 - GSA - BA - 00 - DR - A - 2100 P12 / BA-3S8A-GROUND FLOOR PLAN
 1410 - GSA - BB - 00 - DR - A - 2109 P11 / BB-3S8A-OPT5-GROUND FLOOR PLAN
 1410 - GSA - FB - 00 - DR - A - 2100 P02 / -FB-2B4P-GROUND FLOOR PLAN
 1410 - GSA - FE - 00 - DR - A - 2100 P05 / FE-2B4P-GROUND FLOOR PLAN
 1410 - GSA - HA - 00 - DR - A - 2100 P06 / HA-2B3P-GROUND FLOOR PLAN
 1410 - GSA - HD - 00 - DR - A - 2100 P06 / HD-3B5P-GROUND FLOOR PLAN
 1410 - GSA - HP - 00 - DR - A - 2100 P08 / HP-4B7P-GROUND FLOOR PLAN
 1410 - GSA - HV - 00 - DR - A - 2100 P06 / HV-3B5P-GROUND FLOOR PLAN
 1410 - GSA - HY - 00 - DR - A - 2100 P07 / HY-4B6P-GROUND FLOOR PLAN
 1410 - GSA - NB - 00 - DR - A - 2100 P06 / NB-2B4P-GROUND FLOOR PLAN
 1410 - GSA - ND - 00 - DR - A - 2100 P08 / ND-3B5P-GROUND FLOOR PLAN
 1410 - GSA - NG - 00 - DR - A - 2100 P08 / NG-4B8P-GROUND FLOOR PLAN
 1410 - GSA - NH - 00 - DR - A - 2100 P06 / NH-4B7P-GROUND FLOOR PLAN
 1410 - GSA - NH - 00 - DR - A - 2100 P06 / NJ-4B8P-GROUND FLOOR PLAN
 1410 - GSA - NR - 00 - DR - A - 2100 P07 / NR-4B6P-GROUND FLOOR PLAN
 1410 - GSA - NS - 00 - DR - A - 2100 P08 / NS-4B7P-GROUND FLOOR PLAN
 1410 - GSA - NT - 00 - DR - A - 2100 P06 / NT-3B5P-GROUND FLOOR PLAN
 1410 - GSA - NU - 00 - DR - A - 2100 P06 / NU-3B5P-GROUND FLOOR PLAN
 1410 - GSA - NV - 00 - DR - A - 2100 P04 / NV-3B5P-GROUND FLOOR PLAN
 1410 - GSA - NW - 00 - DR - A - 2100 P04 / NW-4B7P-GROUND FLOOR PLAN
 1410 - GSA - NW - 00 - DR - A - 2102 P04 / NW-TYPE 2-4B7P-GROUND FLOOR
 1410 - GSA - NW - 01 - DR - A - 2103 P04 / NW-TYPE 2-4B7P-FIRST FLOOR PLAN
 1410 - GSA - NW - 01 - DR - A - 2101 P04 / NW-4B7P-FIRST FLOOR PLAN
 1410 - GSA - NV - 01 - DR - A - 2101 P05 / NV-3B5P-FIRST FLOOR PLAN
 1410 - GSA - NU - 01 - DR - A - 2101 P06 / NU-3B5P-FIRST FLOOR PLAN
 1410 - GSA - NT - 01 - DR - A - 2101 P06 / NT-3B5P-FIRST FLOOR

1410 - GSA - NS - 02 - DR - A - 2102 P08 / NS-4B7P-SECOND FLOOR
 1410 - GSA - NS - 02 - DR - A - 2101 P08 / NS-4B7P-FIRST FLOOR PLAN
 1410 - GSA - NR - 01 - DR - A - 2101 P08 / NR-4B6P-FIRST FLOOR PLAN
 1410 - GSA - NJ - 01 - DR - A - 2101 P06 / NJ-4B8P-FIRST FLOOR PLAN
 1410 - GSA - NH - 01 - DR - A - 2101 P06 / NH-4B7P-FIRST FLOOR PLAN
 1410 - GSA - NG - 01 - DR - A - 2101 P08 / NG-4B8P-FIRST FLOOR
 1410 - GSA - ND - 01 - DR - A - 2101 P08 / ND-3B5P-FIRST FLOOR PLAN
 1410 - GSA - NB - 01 - DR - A - 2101 P06 / NB-2B4P-FIRST FLOOR PLAN
 1410 - GSA - NA - 01 - DR - A - 2101 P05 / NA-2B3P-FIRST FLOOR PLAN
 1410 - GSA - HY - 01 - DR - A - 2101 P07 / HY-4B6P-FIRST FLOOR
 1410 - GSA - HV - 02 - DR - A - 2102 P05 / HV-3B5P-SECOND FLOOR
 1410 - GSA - HV - 01 - DR - A - 2101P05 / HV-3B5P-FIRST FLOOR PLAN
 1410 - GSA - HP - 01 - DR - A - 2101 P08 / HP-4B7P-FIRST FLOOR PLAN
 1410 - GSA - HD - 01 - DR - A - 2101 P06 / HD-3B5P-FIRST FLOOR PLAN
 1410 - GSA - HA - 01 - DR - A - 2101 P05 / HA-2B3P-FIRST FLOOR
 1410 - GSA - FE - 01 - DR - A - 2101 P05 / FE-2B4P-FIRST FLOOR
 1410 - GSA - FB - 01 - DR - A - 2101 P02 / FB-2B4P-FIRST FLOOR PLAN
 1410 - GSA - BB - 02 - DR - A - 2111 P11 / BB-3S8A-OPT5-SECOND FLOOR PLAN
 1410 - GSA - BB - 01 - DR - A - 2110 P11 / BB-3S8A-OPT5-FIRST FLOOR PLAN
 1410 - GSA - BA - 02 - DR - A - 2102 P12 / BA-3S8A-SECOND FLOOR
 1410 - GSA - BA - 01 - DR - A - 2101 P12 / BA-3S8A-FIRST FLOOR PLAN
 STREET ELEVATIONS / 1410-GSA-ZZ-ZZ-DR-A-3101_P12
 STREET ELEVATIONS 2 / 1410-GSA-ZZ-ZZ-DR-A-3102_P05
 STREET ELEVATIONS 3 / 1410-GSA-ZZ-ZZ-DR-A-3103_P03
 BOUNDARY TREATMENT PLAN / 3227-APA-ZZ-XX-LA-L-1005 P06
 ILLUSTRATIVE LANDSCAPE MASTERPLAN / 3227-APA-ZZ-XX-LA-L-1001 P09
 PLANTING PROPOSAL SHEET 1 OF 3 / 3227-APA-ZZ-XX-PP-L-2001 P09
 PLANTING PROPOSAL SHEET 2 OF 3 / 3227-APA-ZZ-XX-PP-L-2002 P09
 PLANTING PROPOSAL SHEET 3 OF 3 / 3227-APA-ZZ-XX-PP-L-2003 P09
 PLANT SCHEDULE REVISION P08 (26/11/25) / 3227-APA-ZZ-XX-PS-L4201 P08
 Soft Landscape Detail– Tree Pit Between Parking Bays, drawing no.3227-APA ZZ- XX-DT-L-3002, Rev. P01
 Soft Landscape Detail– Tree Pit in Soft, drawing no.3227-APA-ZZ-XX-DT-L-3001, Rev. P01
 Soft Landscape Detail– Typical Front Garden, drawing no.3227-APA-ZZ-XX-DT L- 3005, Rev. P01
 Soft Landscape Detail– Typical Plant Soil Profiles, drawing no.3227-APA-ZZ-XX DT-L-3004, Rev. P01
 Highways Technical Note
 Energy and Sustainability Statement, received 28/11/25.
 PROPOSED DRAINAGE LAYOUT / 24028-BDC-C-XX-XX-EL-0511-P05
 SWEPT PATH ANALYSIS - FIRE TENDER / 24028-BDC-C-XX-XX-EL-0101-P03
 VISIBILITY PLAN / 24028-BDC-C-XX-XX-SK-0006-P02
 PROPOSED LEVELS / 24028-BDC-C-XX-XX-EL-0611-P04
 SWEPT PATH ANALYSIS - REFUSE VEHICLE / 24028-BDC-C-XX-XX-EL-0100-P06
 PROPOSED HIGHWAYS GENERAL ARRANGEMENT / 24028-BDC-C-XX-XX-EL-0011-P04
 SWEPT PATH ANALYSIS - LARGE CAR / 24028-BDC-C-XX-XX-EL-0102-P03

Reason: For purposes of clarity and for the avoidance of doubt, in accordance with the NPPF.

Pre-commencement conditions

2. Prior to commencement of the development hereby permitted details of a construction management plan shall be submitted to and approved in writing by the Local Planning Authority. The approved plan shall be adhered to throughout the demolition/construction period. The plan/statement shall include but not be restricted to:

- Parking of vehicle of site operatives and visitors (including measures taken to ensure satisfactory access and movement for existing occupiers of neighbouring properties during construction);
- Advisory routes for construction traffic;
- Any temporary access to the site;
- Locations for loading/unloading and storage of plant, waste and construction materials;
- Method of preventing mud and dust being carried onto the highway;
- Arrangements for turning vehicles;
- Arrangements to receive abnormal loads or unusually large vehicles;
- Highway Condition survey;
- Methods of communicating the Construction Management Plan to staff, visitors and neighbouring residents and businesses.

Reason: In the interests of safe operation of the adopted highway in the lead into development both during the demolition and construction phase of the development.

3. Prior to commencement of the development hereby permitted, a comprehensive scheme for both hard and soft landscape works (the Landscaping Scheme) shall be submitted to and approved in writing by the Local Planning Authority. As a minimum, the Landscaping Scheme shall include the following details:

- locations, sizes and condition of all existing trees and hedgerows on and adjoining the site, which are to be retained;
- proposed planting areas, including tree and plant species, numbers and planting sizes;
- proposed finished levels or contours, including any proposed mounding and basins; proposed walls, retaining structures and association with adjoining areas of open space, including connection to adjacent footways/cycleways;

- other proposed means of enclosure and screening, and measures to prevent car parking on areas of green infrastructure;
- communal cycle parking facilities;
- proposed minor artefacts and structures (e.g. street furniture, refuse and/or other storage units, and signs, etc.);
- existing and proposed functional services above and below ground (e.g. drainage, power, communications cables, pipelines etc.);
- hard surface materials, to be used throughout the proposed development; and
- an Implementation Timetable for the scheme in its entirety.

Reason: To ensure the development is completed in a manner that is sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policy EN2 and Policy EN8, and the provisions of the NPPF.

4. Prior to commencement of the development hereby permitted full details of all proposed street tree planting, root protection systems, future management plan, and the proposed times of planting, shall be submitted to and approved in writing by the local planning authority, and all tree planting shall be carried out in accordance with those details and at those times.

Reason: To ensure the continued wellbeing of the trees in the interests of the amenity and environmental quality of the locality.

5. Prior to commencement of the development hereby permitted a scheme identifying the location of proposed PV roof panels, including individual dwellings and specific supporting roof slopes, shall be submitted to and approved in writing by the Local Planning Authority. The new rooflights shall be of a design which, when installed, shall not project forward of the roof slope in which the rooflights are located and shall be permanently retained as such thereafter.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policy EN2.

Pre-commencement of specific works

Infrastructure

6. Prior to the commencement of construction works within Sub-Phase 2a, details of connections from the green infrastructure footway/cycleway into the Sub-Phase in question shall be submitted to and approved in writing by the local planning authority.

The connections shall be completed in accordance with the details so approved, prior to the first occupation of any new homes within the Sub-Phase in question.

Reason: To ensure that connections from the green infrastructure footway/cycleway into Sub-Phases 2d and 2e are provided in locations that complement the approved residential layouts, in the interests of achieving maximum permeability for pedestrians and cyclists.

7. Prior to the practical completion of pavement construction works, design details of any minor artefacts (e.g. benches, refuse bins, signs, etc.), which are not specified on the approved drawings (i.e. listed under condition 1 above), shall be submitted to and approved in writing by the local planning authority. The minor artefacts shall be provided in accordance with the details so approved, prior to the first occupation of any homes within sub phases 2d and 2e.

Reason: To ensure the development is completed in a manner consistent with Cotswold District Local Plan Policy S2 and the related Vision and Objectives (Appendix B).

Buildings

8. No foundations shall be laid for any of the dwellings hereby approved until a scheme for inspection and verification of the enhanced building performance requirements set out in the approved document has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include details for its implementation alongside the Building Regulations approval process, and for formal reporting of specified 'as constructed' information to the Local Planning Authority at RIBA Stage 5 - Construction. Development shall be carried out in accordance with the approved scheme.

Reason: To ensure design standards that facilitate sustainable use of the development in accordance with Cotswold District Local Plan Policy S2 and Policy EN1.

9. Prior to the construction of any external wall/fence of the development hereby approved, samples of the proposed walling and roofing materials shall be submitted to the Local Planning Authority. The samples shall include:

- Roofing slates
- Natural walling stone
- Reconstituted walling stone
- Brick
- Natural dry stone for boundary walling

- Reconstituted stone for sills and heads
- Timber fences
- Railings

Sample panels of walling of at least one metre square in size showing where relevant the proposed stone colour, coursing, bonding, treatment of corners, method of pointing, mix and colour of mortar and render finish shall be erected on the site shall be provided to the Local Planning Authority. The panels shall include:

- Natural stone walling
- Reconstituted stone walling
- Brickwork
- Roughcast render
- Reconstituted stone boundary walling including piers and capping
- Natural dry stone boundary walling including capping
- Timber cladding for the walls of ancillary buildings
- Junctions between the proposed materials, including proposed placement on each corresponding elevation.

10. The development shall be carried out in conformity with details approved in writing by the Local Planning Authority and the walls shall be constructed only in the same way as the approved panel. The panels shall be retained on site until the completion of the development.

Reason: To ensure that, in accordance with Cotswold District Local Plan Policy EN2, the development will be constructed of materials of a type, colour, texture and quality that will be appropriate to the site and its surroundings. Retention of the sample panel on site during the work will help to ensure consistency.

11. The following items shall not be installed/inserted/constructed in the development hereby approved, until their design and details, including materiality, have been submitted to and approved in writing by the Local Planning Authority.

- Windows
- External doors
- Garage doors
- Sill and head treatments
- Dormers
- Balconies including finish
- Porches and porch canopies including finish

- Ridges, eaves, verges and copings
- Chimneys
- Rooflights
- Rainwater goods
- Internal finish of open undercrofts
- Railings, fencing and gates including finishes
- Bin and cycle stores

Where appropriate the design and details shall be accompanied by drawings to a minimum scale of 1:5 with full size moulding cross section profiles, elevations and sections. The development shall only be carried out exactly in accordance with the approved details and retained as such at all times.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policy EN2.

12. No construction work on the primary structures of the dwellings hereby approved shall take place until design details for the installation of air source heat pumps (including any housing) at each dwelling type, along with details of external services, meter boxes, pipework and ducting, have been submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the design details so approved.

Reason: To ensure that in each case the air source heat pump is sited, so far as is practicable, to minimize effects on the external appearance of the building and on the amenity of the area.

Prior to occupation conditions

Energy performance

13. None of the dwellings hereby approved shall be occupied until a scheme for Post Occupancy Evaluation (POE) has been submitted to and approved in writing by the Local Planning Authority. As a minimum, the scheme shall include detailed arrangements for: a) its implementation over the specified evaluation period; b) the formal submission of energy and CO₂ calculation outputs for the dwellings immediately prior to handover (at RIBA Stage 6 - Handover and Close Out); c) the provision of metering in the dwellings, to allow the total energy and water consumption of individual dwellings to be reported annually in the first 5 years after handover; d) formally reporting on the annual energy and water consumption for a target of 20% of dwellings via specified means; e) user surveys for a target of 20% of dwellings at appropriate intervals over the evaluation period; and f) the appointment

of an independent POE consultant, who will be responsible for implementation of the approved scheme.

Development shall be carried out in accordance with the approved scheme.

Reason: To evaluate the effectiveness in use of enhanced building performance measures, which are intended to facilitate sustainable use of the development in accordance with Cotswold District Local Plan Policy S2 and Policy EN1.

Highways

14. None of the dwellings hereby approved shall be occupied until a scheme for external lighting of the development has been submitted to and approved in writing by the Local Planning Authority. As a minimum, the scheme shall include lighting design details for all streets and other vehicular routes; all pedestrian and cycle routes; all communal amenity spaces, refuse storage areas, and communal cycle parking facilities; all private footpaths and car parking courts. The scheme shall also include a timetable for implementation and arrangements for future maintenance. External lighting shall be provided and subsequently maintained in accordance with the approved scheme.

Reason: To provide a safe environment, while avoiding any unacceptable impacts on biodiversity, in accordance with Cotswold District Local Plan Policy EN2, Policy EN8 and Policy EN15

15. Prior to occupation, details shall be provided and approved in writing by the Local Planning Authority of Electric Vehicle Charging Points (EVCP) that complies with a technical charging performance specification to be installed at each property hereby approved. The approved EVCP details shall be installed and available for use prior to occupation in accordance with the agreed specification unless replaced or upgraded to an equal or higher specification. Parking and charging points shall be maintained for this purpose thereafter.

Reason: To promote sustainable travel and healthy communities.

16. None of the dwellings hereby approved shall be occupied until sheltered, secure and accessible bicycle parking has been provided in accordance with details which shall first be submitted to and approved in writing by the Local Planning Authority. The approved storage area shall be maintained for this purpose thereafter.

Reason: To promote sustainable travel and healthy communities

17. None of the dwellings hereby approved shall be occupied until pedestrian visibility splays of 2m x 2m measured perpendicularly back from the [back of footway / edge of carriageway] shall be provided on both sides of the access. These splays shall thereafter be permanently kept free of all obstructions to visibility over 0.6m in height above the adjoining ground level

Reason: To ensure there are no severe highway effects as a result of the development hereby approved in accordance with the requirements of the NPPF.

18. The Development hereby approved shall not be occupied until the applicant has submitted to and had approval in writing from the Local Planning Authority a residential welcome pack promoting sustainable forms of access to the development. The pack shall be provided to each resident at the point of the first occupation of the dwelling.

Reason: To reduce vehicle movements and promote sustainable access.

Buildings

19. None of the dwellings hereby approved shall be occupied until details of colour or colours of the windows, external doors and garage doors are submitted to and approved in writing by the Local Planning Authority. The approved details shall thereafter be permanently retained in the approved colours.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policy EN2.

Restriction conditions

Highways

20. Prior to the first occupation of each of the dwellings hereby approved, its means of access to the nearest public highway, and its parking and turning facilities, shall be provided as shown on the approved Site Layout Plan

Reason: To ensure conformity with the approved drawings, and in the interest of highway safety

21. Vehicle and cycle parking shall be provided prior to first occupation of each dwelling in accordance with details to be contained within the approval of any reserved matters permission.

Reason: To promote sustainable travel and healthy communities

Drainage

22. The placement and compaction of fill materials to construct earth structures shall be carried out in accordance with the details set out within the approved Level Changes Strategy Plan and the and cross sections set out within the approved SuDS Detail Sheets 1 and 2.

Reason: To ensure the three-dimensional form of new earth structures is consistent with the intended character and appearance of the Primary Green Infrastructure Areas, as described and illustrated in the approved Green Infrastructure Strategy.

Landscape

23. The approved Landscaping Scheme (as per condition 3) shall be completed in its entirety in accordance with the approved Implementation Timetable, or by the end of the planting season immediately following practical completion of the last dwelling, whichever is the sooner.

Reason: To ensure that the landscaping is carried out and to enable the planting to begin to become established at the earliest stage practical and thereby achieving the objective of Cotswold District Local Plan Policy EN4

24. Any trees, plants or grassed areas shown on the approved planting plans (i.e. listed under condition 1 above) that die, become diseased, are damaged, or removed, within ten years of the actual date of Practical Completion of all hard and soft landscape works, shall be replaced by the end of the following planting season. All replacement trees, plants and/or grassed areas shall be of the same size and species as those lost.

Reason: To ensure that all planting areas become established and thereby achieve the objectives of Cotswold District Local Plan Policy EN1, Policy EN7 and Policy EN8, and the provisions of the NPPF.

25. All trees and other planted areas as approved shall be maintained in accordance with the approved Landscape Management and Maintenance Plan, continuing for a minimum of 10 (ten) years following the date of the relevant Final Certificate (i.e. as defined in the section 106 agreement dated the 3rd of April 2019).

Reason: To ensure that all planting areas become established and thereby achieve the objectives of Cotswold District Local Plan Policy EN1, Policy EN7 and Policy EN8.

Buildings

26. New render shall be of a roughcast type and be of a mix containing sharp sand, stone dust, pea shingle and lime unless an alternative mix is agreed in writing by the

Local Planning Authority. The render shall finish flush with all stone dressings and shall not be belled outwards over the heads of doors, windows or any other opening.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policy EN2.

27. The artificial Cotswold stone roofing slates hereby permitted shall be laid to diminishing courses.

Reason: To ensure that, in accordance with Cotswold District Local Plan Policy EN2, the development will be constructed in a manner that is appropriate to the site and its surroundings and is reflective of local building traditions.

28. Notwithstanding the submitted details there shall be no bargeboards or eaves fascias shall be used in the proposed development.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan EN2.

29. All window and door frames shall be recessed a minimum of 75mm into the external walls of the building and shall be permanently retained as such thereafter.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policy EN2.

INFORMATIVES

Works on the Public Highway

The development hereby approved includes the carrying out of work on the adopted highway. You are advised that before undertaking work on the adopted highway you must enter into a highway agreement under Section 278 of the Highways Act 1980 with the County Council, which would specify the works and the terms and conditions under which they are to be carried out.

Contact the Highway Authority's Legal Agreements Development Management Team at highwaylegalagreements@gloucestershire.gov.uk allowing sufficient time for the preparation and signing of the Agreement. You will be required to pay fees to cover the Council's costs in undertaking the following actions:

- Drafting the Agreement
- A Monitoring Fee
- Approving the highway details
- Inspecting the highway works

Planning permission is not permission to work in the highway. A Highway Agreement under Section 278 of the Highways Act 1980 must be completed, the bond secured and the Highway Authority's technical approval and inspection fees paid before any drawings will be considered and approved.

Traffic Regulation Order (TRO)

You are advised that a Traffic Regulation Order (TRO) may be required. You must submit a plan to scale of an indicative scheme for a TRO, along with timescales for commencement and completion of the development. Please be aware that the statutory TRO process is not straightforward; involving advertisement and consultation of the proposal(s).

You should expect a minimum of six months to elapse between the Highway Authority's TRO Team confirming that it has all the information necessary to enable it to proceed and the TRO being advertised. You will not be permitted to implement the TRO measures until the TRO has been sealed, and we cannot always guarantee the outcome of the process.

We cannot begin the TRO process until the appropriate fee has been received. To arrange for a TRO to be processed contact the Highway Authority's Legal Agreements Development Management Team at highwaylegalagreements@gloucestershire.gov.

The cost of implementing any lining, signing or resurfacing required by the TRO is separate to the TRO fees, which solely cover the administration required to prepare, consult, amend and seal the TRO.

The post planning Section 38 process will establish this need.

Highway to be adopted

The development hereby approved includes the construction of new highway. To be considered for adoption and ongoing maintenance at the public expense it must be constructed to the Highway Authority's standards and terms for the phasing of the development. You are advised that you must enter into a highway agreement under Section 38 of the Highways Act 1980. The development will be bound by Sections 219 to 225 (the Advance Payments Code) of the Highways Act 1980. Contact the Highway Authority's Legal Agreements Development Management Team at highwaylegalagreements@gloucestershire.gov.uk. You will be required to pay fees to cover the Council's costs in undertaking the following actions: • Drafting the Agreement; • Set up costs; • Approving the highway details; and • Inspecting the highway works. You should enter into discussions with statutory undertakers as soon

as possible to co ordinate the laying of services under any new highways to be adopted by the Highway Authority.

Meaning of Pavement Construction Works

Within the conditions above "pavement construction works" means any construction works on footways or cycleways above the formation level

Protection of Visibility Splays

The applicant's attention is drawn to the need to ensure that the provision of the visibility splay(s) required by this consent is safeguarded in any sale of the application site or part(s) thereof

Additional compensatory planting on the main site

The Master Developer has agreed that 10% biodiversity gain should be the starting point target for The Steadings as a whole. The Applicant's team have assessed the revised landscape design using the Biodiversity Metric, which generates area and linear calculations. The Metric indicates that Phase 2a is not capable of delivering biodiversity net gain on site. The Master Developer and the Applicant have therefore agreed that additional compensatory planting will be delivered on the main part of The Steadings site. The Outline Framework creates an opportunity for around 15 ha on the main site to be managed specifically for biodiversity (i.e. 37% of the designated main open green spaces, or 12.5% of the overall outline planning permission site area). This compensatory planting arrangement will be controlled and if necessary enforced using the outline planning permission approval regime (i.e. planning conditions and obligations). The Master Developer has agreed to work with officers in jointly recording and monitoring the arrangements, as development across The Steadings progresses

Section 106 Agreement

The Applicant's attention is drawn to the section 106 agreement between Cotswold District Council and Bathurst Development Limited dated the 3rd of April 2019 (the Agreement).

Community Infrastructure Levy (CIL)

Please note that this development is not liable for a charge under the Community Infrastructure Levy (CIL) Regulations 2010 (as amended), as the Strategic Site south of Chesterton is rated £0/m² for residential development

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Legend

- Application boundary
- Existing vegetation
- Proposed trees
- Proposed hedge
- Proposed shrubs
- Amenity grass
- Asphalt to carriageway
- Asphalt footpath
- Setts to transition strip
- Paving to feature spaces
- Block paving to secondary streets and parking court accesses
- Block paving to parking bays
- Block paving to parking bays within parking court
- Paving slab to private footpath
- Hoggin path to open space
- Informal mown grass footpath

TEMPORARY TURNING HEAD.
TO BE MAINTAINED
UNTIL THE ADJACENT
PHASE IS DEVELOPED

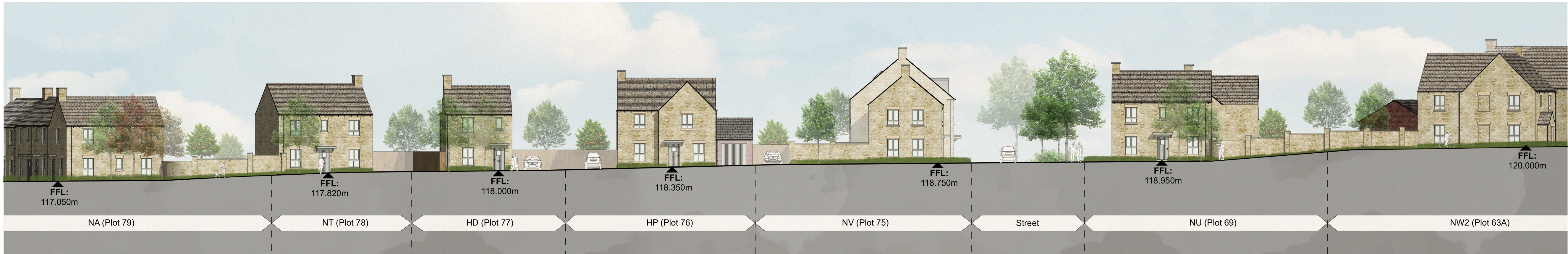
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Note:
For detailed material information refer to the material drawing '1410-GSA-SW-00-DR-A-1250- Detailed Material Plan' and separate material schedule '1410-GSA-SW-XX-SA-A- Material Schedule'.

MATERIALS KEY

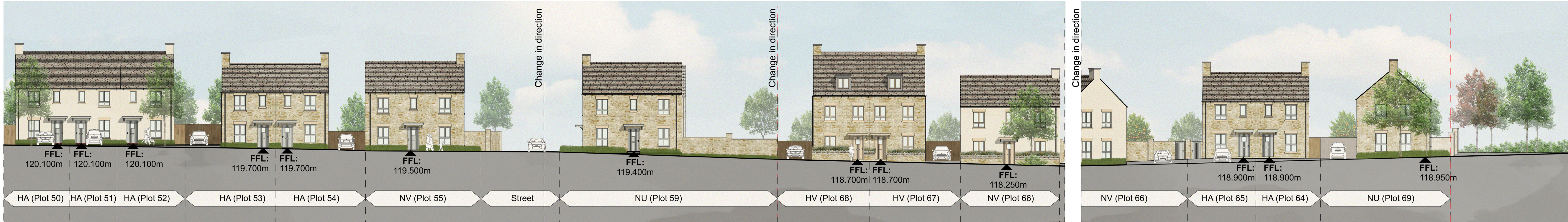
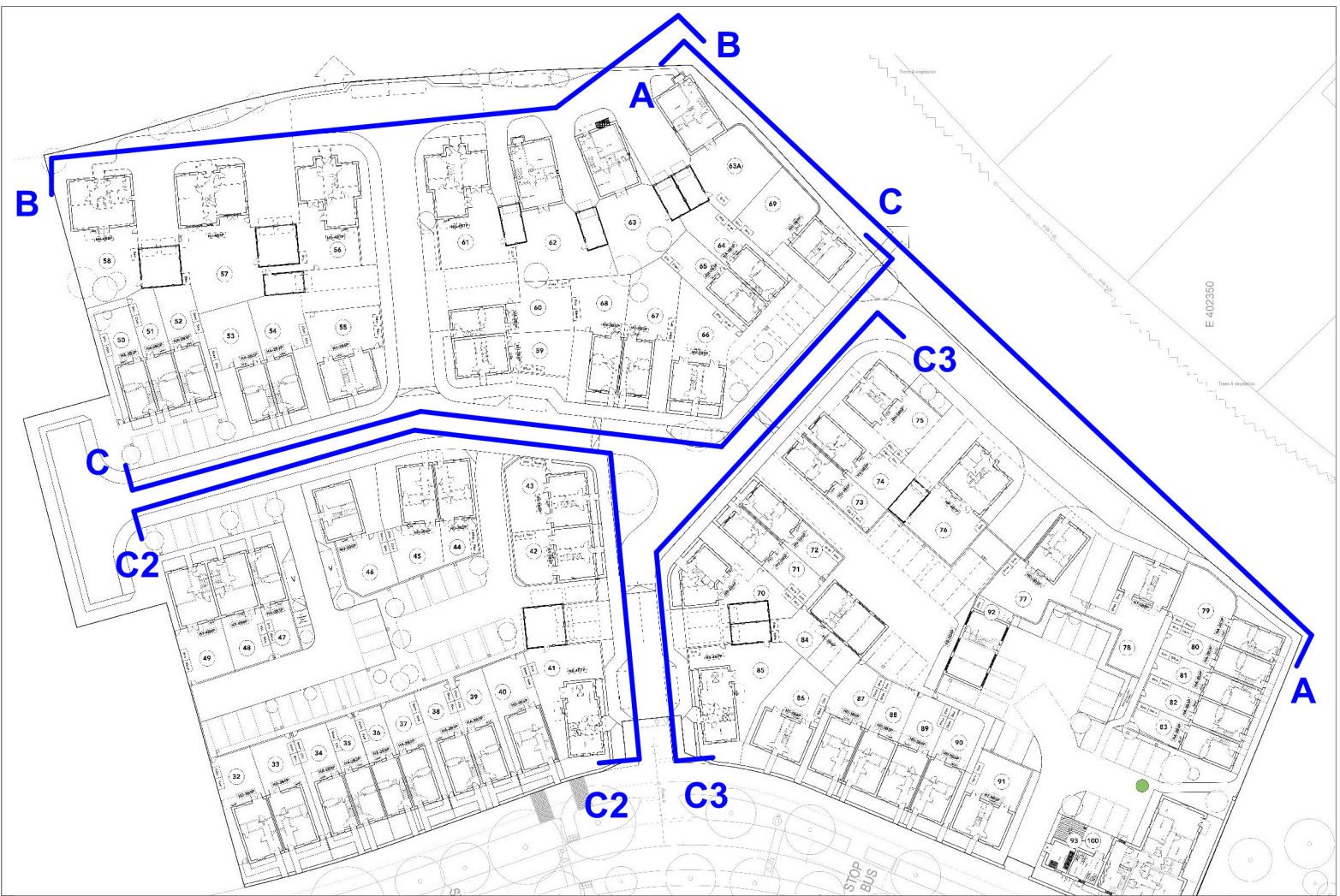
- RED BRICK
- RECONSTITUTED OR NATURAL STONE
- COTSWOLDS STONE EFFECT ROOF
- STONE COLOURED ROUGH-CAST RENDER
- SMOOTH STONE DETAILING
- BLACK COLOURED RAINWATER GOODS
- LIGHT COLOURED WINDOW FRAMES



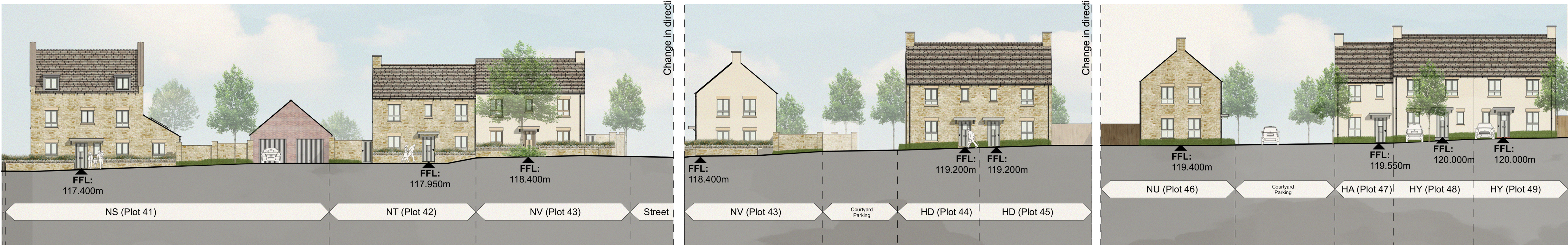
A-A - Eastern Edge Elevation



B-B - Northern Edge Elevation



C-C - Focal Space Elevation North



C-C 2 - Focal Space Elevation South

Rev	Date	Drawn	Description
P12	25/11/2025	MS	Planning Amendments Issue

PLANNING

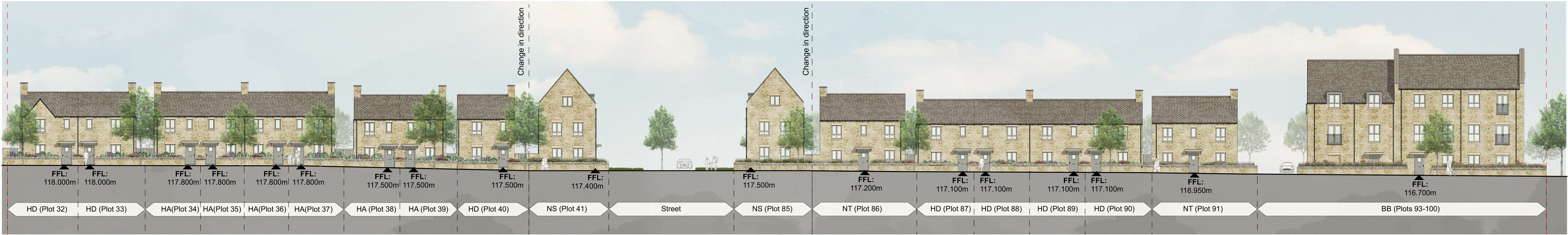
The Steadings - Phase 2A



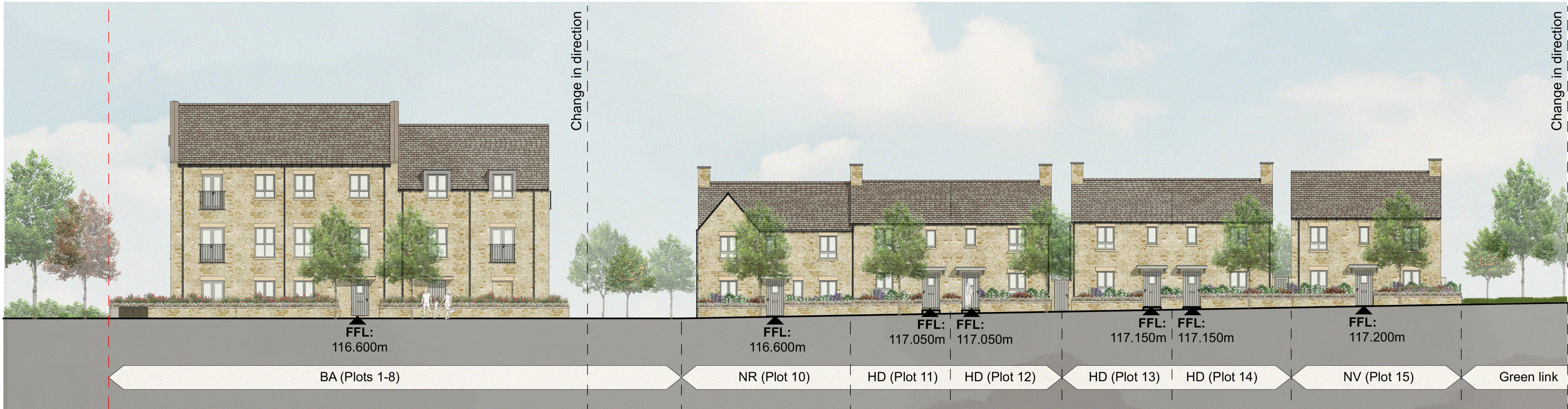
Drawing Title
Street Elevations

Drawn by MS	Checked by TBS	Phase	Parcel
Scale 1:200 @ A1	Revision P12		
Drawing Number 1410 - GSA - ZZ - ZZ - DR - A - 3101	project 1410 - GSA - ZZ - ZZ - DR - A - 3101	originator 1410 - GSA - ZZ - ZZ - DR - A - 3101	volume 1410 - GSA - ZZ - ZZ - DR - A - 3101

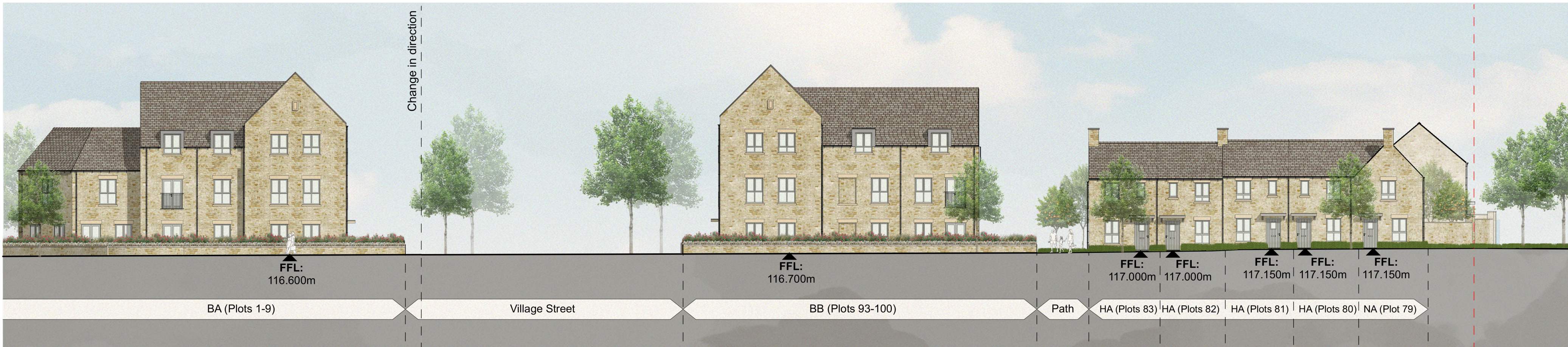
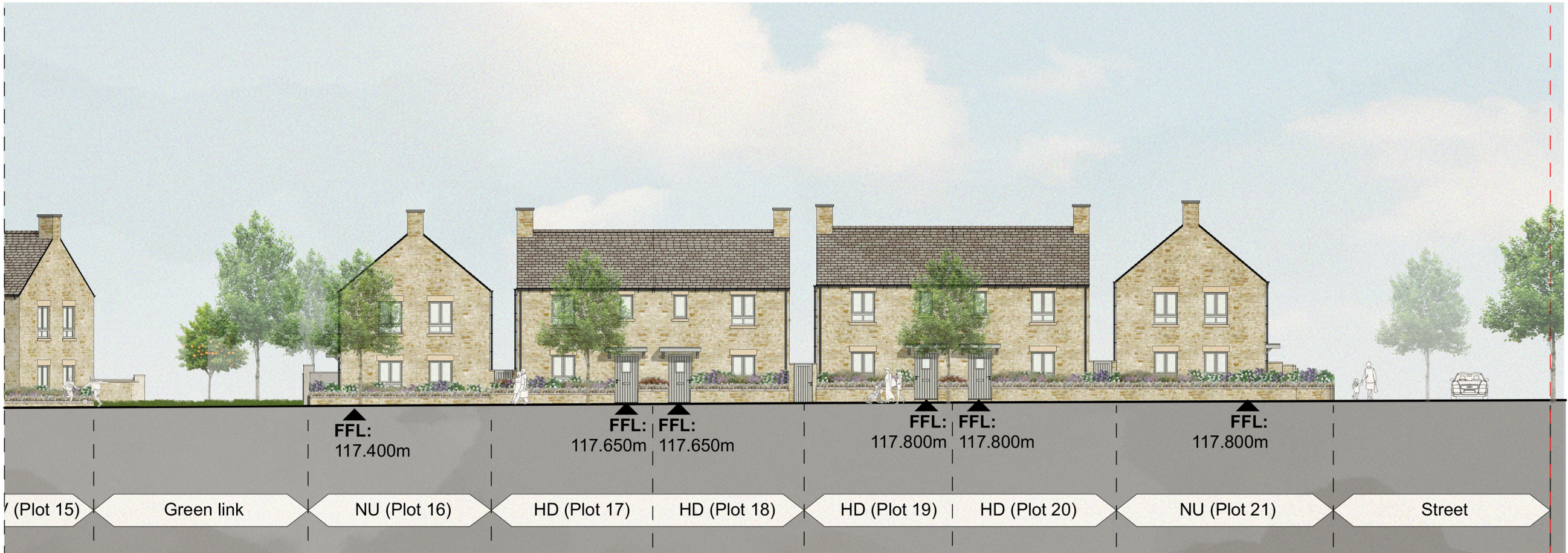
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E-E - Village Street North Elevation



F-F - Village Street South Elevation



G-G - Gateway Elevation

MATERIALS KEY

- Note:**
For detailed material information refer to the material drawing '1410-GSA-SW-00-DR-A-1250-Detailed Material Plan' and separate material schedule '1410-GSA-SW-XX-SA-A-Material Schedule'.
- RED BRICK
 - RECONSTITUTED OR NATURAL STONE
 - COTSWOLDS STONE EFFECT ROOF
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 - SMOOTH STONE DETAILING
 - BLACK COLOURED RAINWATER GOODS
 - LIGHT COLOURED WINDOW FRAMES

KEY PLAN



Rev	Date	Drawn	Description
P05	25/11/2025	MS	Planning Amendments Issue

PLANNING

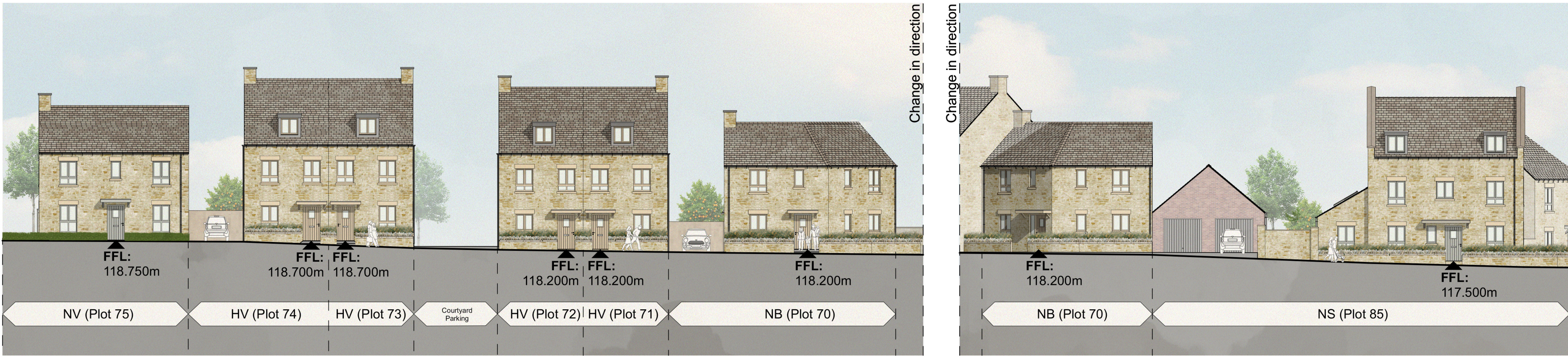
The Steadings - Phase 2A



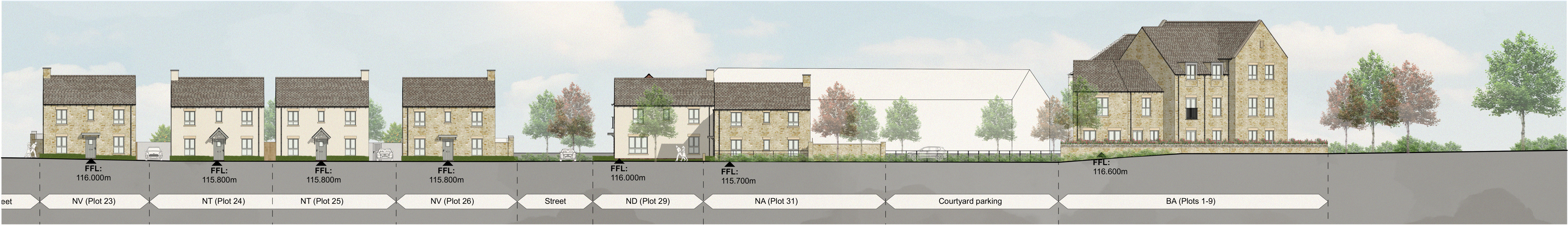
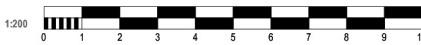
Street Elevations 2

Drawn by MS	Checked by TBS	Phase	Parcel
Scale 1:200 @ A1	Revision P05		
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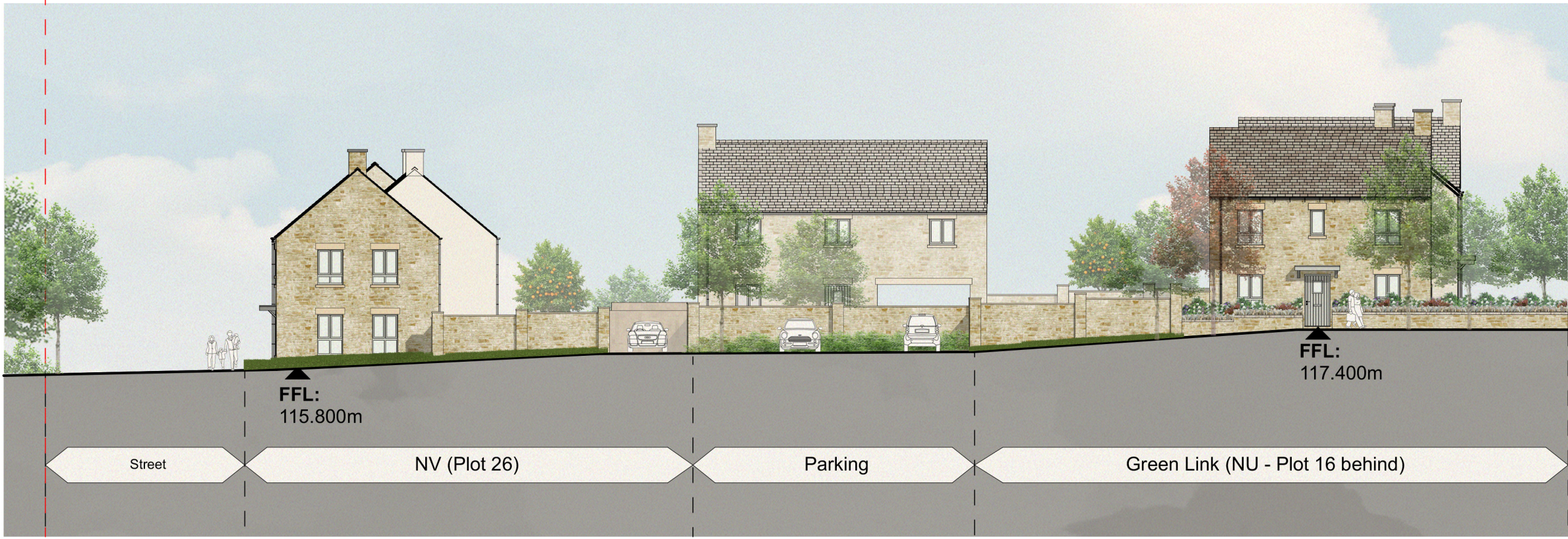
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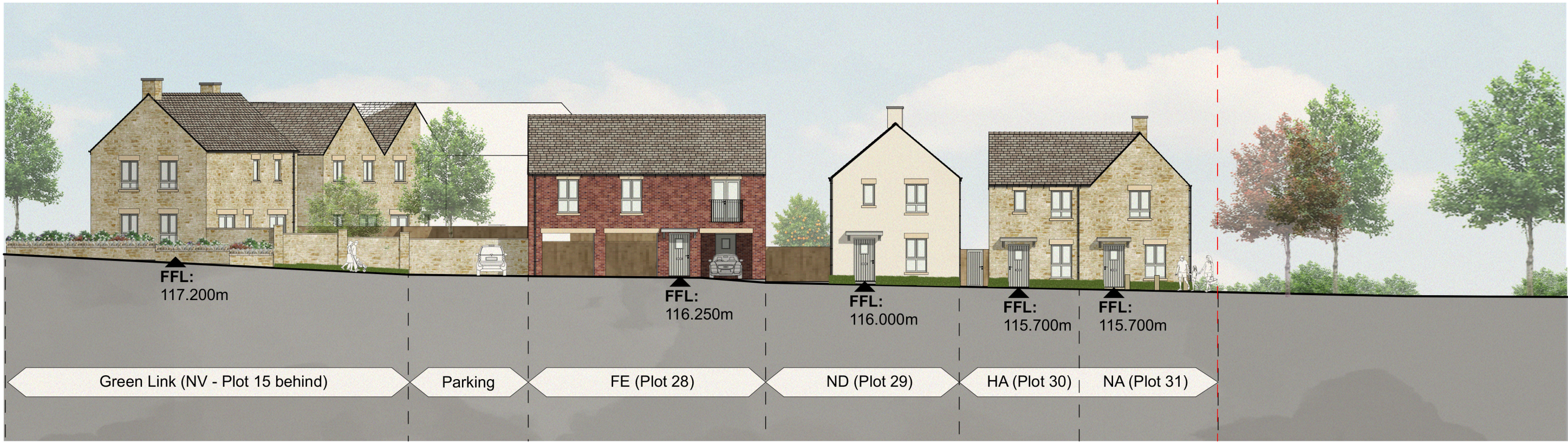
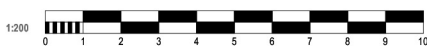
C-C 3 - Focal Space Elevation South



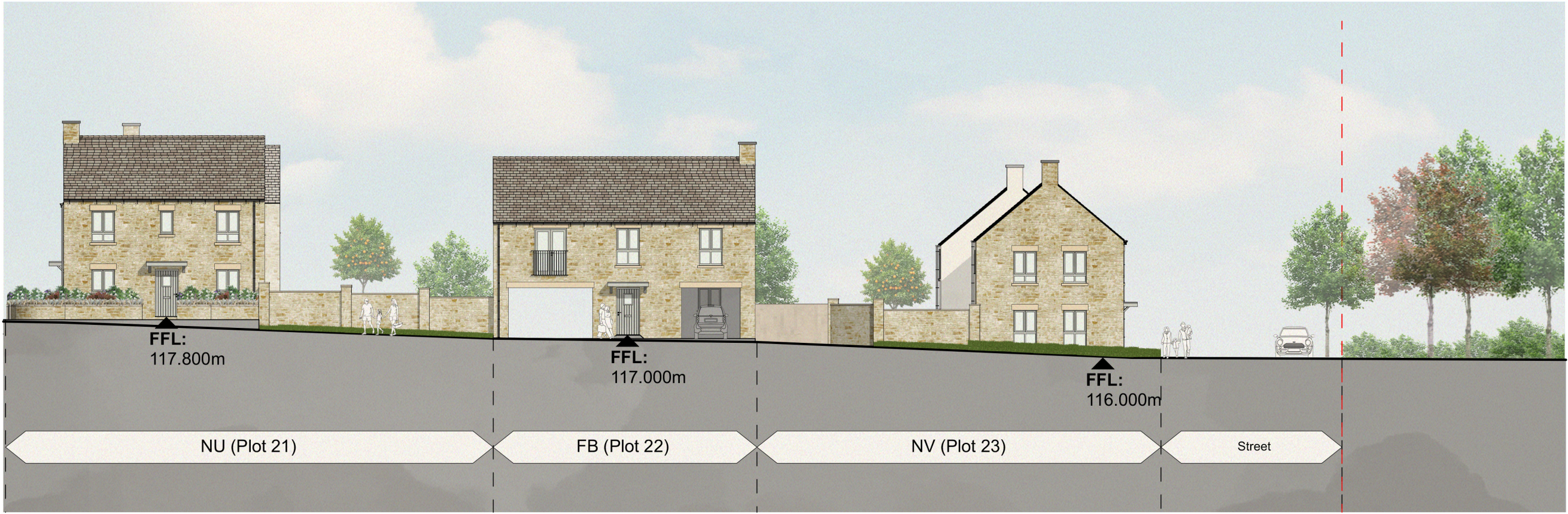
D-D - Southern Edge Elevation



D-D 2 - Southern Parcel



D-D 3 - Southern Parcel



D-D 4 - Southern Parcel

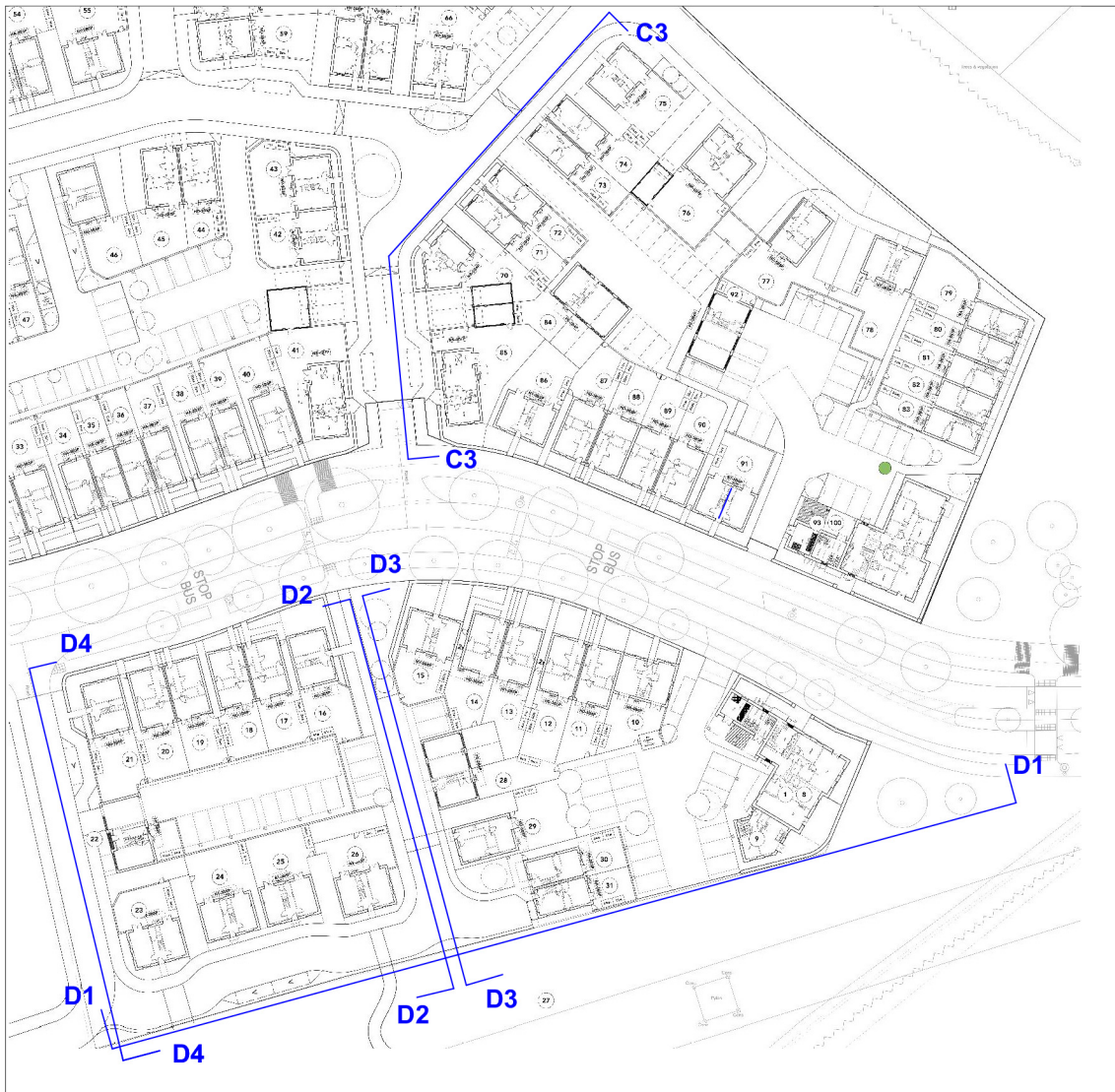


Note:
For detailed material information refer to the material drawing '1410-GSA-SW-00-DR-A-1250-Detailed Material Plan' and separate material schedule '1410-GSA-SW-XX-SA-A-Material Schedule'.

MATERIALS KEY

- RED BRICK
- RECONSTITUTED OR NATURAL STONE
- COTSWOLDS STONE EFFECT ROOF
- STONE COLOURED ROUGH-CAST RENDER
- SMOOTH STONE DETAILING
- BLACK COLOURED RAINWATER GOODS
- LIGHT COLOURED WINDOW FRAMES

KEY PLAN



Rev	Date	Drawn	Description
P03	25/11/2025	MS	Planning Issue

PLANNING

The Steadings - Phase 2A



Street Elevations 3

Drawn by MS	Checked by TBS	Phase	Parcel
Scale 1:200 @ A1	Revision P03		
Drawing Number 1410 - GSA - ZZ - ZZ - DR - A - 3103	project 1410 - GSA - ZZ - ZZ - DR - A - 3103	originator 1410 - GSA - ZZ - ZZ - DR - A - 3103	volume 1410 - GSA - ZZ - ZZ - DR - A - 3103

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Erection of 3 new structures and associated landscaping to provide additional spa facilities and hotel accommodation at Thyme - Southrop Estate Office Southrop Estate Southrop Lechlade Gloucestershire GL7 3PW

Full Application 25/02175/FUL	
Applicant:	Southrop Estates Ltd
Agent:	Taw Fitzwilliam Architects
Case Officer:	Amy Hill
Ward Member(s):	Councillor David Fowles
Committee Date:	14 January 2026
RECOMMENDATION:	PERMIT

UPDATE: This application was deferred at the 10 December 2025 Planning and Licensing Committee Meeting to allow for a Sites Inspection Briefing. The purpose of the S.I.B. was to assist Members in their consideration of the application with regard to the complexity of the site (*sensitive location - Conservation Area, Cotswolds National Landscape and affect on listed buildings*)

1. Main Issues:

- (a) Principle of Accommodation and Wellness Facilities
- (b) Design and Impact on Heritage Assets
- (c) Impact on Cotswolds National Landscape
- (d) Impact on Residential Amenity
- (e) Highways Safety
- (f) Trees
- (g) Biodiversity and Geodiversity
- (h) Flooding

2. Reasons for Referral:

- 2.1 Cllr Fowles requested that the application be considered by the Review Panel for referral to the Planning & Licensing Committee, for the following reason(s):

2.1.1 This site has a long history of applications from when it first started trading as a cookery school and in addition to developing the current business, the pub has been bought and a number of other residential properties have also been

acquired. The business has very little engagement with the village either by virtue of generating local employment or providing locals with a leisure amenity. Indeed the applicant has stated that the key reason for wanting to develop the spa is so Thyme can compete at the very top of the leisure and hotel sector

2.1.2 There is real concern that historic applications that were granted consent have not had the conditions properly complied with ie 19/04203/FUL and 17/01018/FUL. I believe that the enforcement team need to look into these two applications

2.1.3 In particular there is a real highway safety issue in Southrop as a result of the opening of the overflow car park which is now the only operational car park. The impact on the village is not anecdotal but can be measured via the recently introduced speed cameras

2.1.4 The proposed development will have a dramatic effect on the conservation area and the surrounding listed buildings. It will be visible from the road and footpaths.

2.1.5 There is concern about noise and light pollution, in particular the plant room which is located right on the boundary of a neighbour's property. In addition three more bedrooms are proposed very close to a neighbouring property. This is not a business which shuts at 5.30pm. It operates 24/7.

2.1.6 Finally, whilst everyone understands that this application should be judged on its merits, it is not unreasonable to assume that further applications will be made

- 2.2 The Review panel agreed the request for the application to be considered at the Planning and Licensing Committee, as it was necessary to consider and balance the potential harm to the Conservation Area and surrounding listed buildings, and the potential amenity impacts upon the neighbouring residents, as required by local and national policy.

3. Site Description:

- 3.1 The wider site comprises Thyme, a collection of converted and extended agricultural buildings which form a hotel, spa and restaurant. The site is located within the village of Southrop, with access to Thyme via a road which also serves

Southrop Manor and St Peters Church. It has a second main entrance with parking area to the south east of the village.

- 3.2 The converted agricultural buildings are Grade II listed and lie adjacent to the Grade I listed St Peters Church, with Southrop Manor, a Grade II* listed building beyond.
- 3.3 To the west of the aforementioned buildings, Thyme has incorporated other buildings, mostly used as accommodation. To the northeast of this is Southrop Lodge, a grade II listed building (listed as The Lodge), also run by Thyme.
- 3.4 The site which is subject to this application comprises land to the south of Stable Cottage (curtilage listed) and the area of land to the western side of it. There is an outdoor swimming pool and associated outbuilding to the north. To the west of the site, outside the boundaries of Thyme is another Grade II listed barn (currently known as The Dovecote) and the Grade II listed Newmans House.
- 3.5 A Public Right of Way (Southrop Footpath 7) bisects Thyme through its courtyard, separating the main historic barns from the application site. This continues to the south of the site through open fields. Additionally, Southrop Footpaths 8 and 9 run through the field to the south of the application site.
- 3.6 The site is located within the Southrop Conservation Area and Cotswolds National Landscape.

4. Relevant Planning History:

- 4.1 There is extensive planning history on the wider site.
- 4.2 The main applications relating to the conversion of the farm buildings include:
- 4.3 15/04754/FUL - Change of use of the Granary, Ox Barn, Lambing Sheds and Pigsties, Haybarn and associated land from part agricultural, equestrian, D1, D2, and B1 use classes to a composite use comprising A3 (food and drink), C1 (hotel), D1 (treatment and wellbeing/lectures/courses) and D2 (social events) use classes. Replacement of former barns to provide guest bedrooms. Construction of treatment and wellbeing buildings and the change of use of equestrian riding arena and other land, part to include overflow car parking, associated landscaping and all other associated works - Permitted - 17.06.2016

- 4.4 17/01013/FUL - Restoration, repair and reuse of existing buildings, including works to the Granary, Ox Barn, Lambing Sheds and Pigsties, the conversion of the Hay Barn to form ancillary kitchen and staff areas, the rebuilding of former barns as guest bedrooms, the change of use of an equestrian riding arena and other land, part to include overflow car parking, the planting of an orchard, landscaping and all other associated works; including the change of use from part agricultural, equestrian, D1, D2, and B1 use classes to a composite use comprising A3, C1, D1 and D2 use classes (Amended Application) - Permitted - 04.05.2017

Southrop Lodge:

- 4.5 16/04027/FUL - Change of use from residential (C3 use) to a mixed residential/hotel (C3/C1 use) together with associated minor works and change of use and conversion of the Hay Barn to ancillary hotel areas (reception and ancillary offices - C1 use) - Permitted - 25.11.2016
- 4.6 17/01018/FUL - Change of use of Southrop Lodge from residential (C3 use) to a mixed residential/hotel (C3/C1 use) together with associated minor works and structures [Amended Scheme] - Permitted - 04.05.2017
- 4.7 It is noted that the site is located within the red line boundary on the site location plan for the above application.

5. Planning Policies:

- TNPPF The National Planning Policy Framework
- EN1 Built, Natural & Historic Environment
- EN2 Design of Built & Natural Environment
- EN4 The Wider Natural & Historic Landscape
- EN5 Cotswolds AONB
- EN7 Trees, Hedgerows & Woodlands
- EN8 Bio & Geo: Features Habitats & Species
- EN9 Bio & Geo: Designated Sites
- EN10 HE: Designated Heritage Assets
- EN11 HE: DHA - Conservation Areas
- EN14 Managing Flood Risk
- EN15 Pollution & Contaminated Land
- EC3 All types of Employment-generating Uses

- EC11 Tourist Accommodation
- INF3 Sustainable Transport
- INF4 Highway Safety
- INF5 Parking Provision

6. Observations of Consultees:

6.1 Conservation Officer:

8th August: Revisions and Listed Building Consent required
 2nd September: No objections
 21st November: No objections

6.2 Biodiversity Officer: No objections

6.3 Flood Risk Management Officer: Additional information or pre-commencement condition sought

6.4 Environmental Health: Conditions requested

6.5 Tree Officer: No objection subject to conditions

6.6 Gloucestershire Country Council Highways: No objection

6.7 Historic England: No objections

6.8 Ministry of Defence: No objections

7. View of Town/Parish Council:

7.1 14th August 2025:

"We note some villagers and the Senior Conservation & Design Officer have posted their concerns/comments. We believe quite a number of the comments raised have merit."

7.1.1 The development will be highly visible from many parts of the existing conservation area, including road, pub, footpaths and listed buildings. This will

have a substantial and permanent impact on the village context. Lighting during hours of darkness will make these stand out all the more.

7.1.2 Neighbours note the land on which the development is proposed is rather higher than their own, making them loom even larger than expected, harder to obscure and impinging privacy. There are also windows overlooking adjoining properties some of which are in close proximity to neighbours.

7.1.3 There is a plant room (to service the leisure facility's saunas, hot pools etc.) proposed close to a party wall, offering the possibility of continuous noise in an otherwise peaceful setting.

7.1.4 The development proposes 3 bedrooms, with the possibility of 24/7 noise and light pollution; ie this isn't just a daytime facility.

7.1.5 This development is on land that hitherto has not been developed, and there is reasonable concern that more of the adjacent land will be developed in the future unless a constraint is placed on the current development proposal. We suspect that many of these matters ought to have been dealt with within a Heritage Statement which seems to be absent.

7.1.6 The applicants have, in the past, successfully renovated two large barns and other buildings in the Thyme complex to a very high standard. We hope that the applicants can take stock of the concerns raised and mitigate them"

7.2 16th September 2025:

"We see that nothing material has changed in the revision, i.e some minor tweaks. Accordingly we repeat an objection.

7.2.1 We note that an unprecedented number of villagers, many longstanding residents, have offered their carefully considered comments. Strikingly c30% of the households who live here have objected [ie net of Airbnb & Thyme letting]. Their comments are not frivolous but sufficiently serious for the applicants to read them rather than rely on their agent's interpretation. We hope the applicant will take stock of these concerns and find arrangements to mitigate them.

7.2.2 In their totality the villagers seem to suggest this application as reaching an "over development", if not there already.

7.2.3 Many villagers have raised the matter of road safety. We urge Highways to review the current traffic situation - volume, speed and safety. Southrop's approach roads are typically single carriageway. Our internal roads are narrow, have blind driveways, only a few footpaths, unlit at night, with many sharp corners. The latest planning may prove a step too far.

7.2.4 We draw your attention to prior planning consents that contribute to this. Application 19/04203/FUL; Thyme added an overflow car park to the south of the village, a one mile detour from their then main car park, pressing all Thyme traffic through the entire village (clients, suppliers, service vehicles etc) day and night. The original main car park, within the village to the East, was supposed to remain open, and an undertaking to keep it open was registered by their then agent. However, it has been closed since the overflow parking was commissioned. The over flow parking is now the only parking. This council informed the CDC's planner with a letter (20.10.20) including a statement from the school relating to safety.

7.2.5 In an even earlier application 17/01018/FUL for change of use for Southrop Lodge (bought to expand Thyme) from C3 to C1/C3 mixed, restrictions were attached to the consent, limiting use of the Lodge gates (onto the main road) to emergency vehicles only. It is known that this is not being complied with, as exhibited by the recent objection comments from Mr H Lauder and Mr A Howarth. Both live opposite, so can accurately opine. They note these gates are being regularly used for vehicular access, even though this another example of a blind driveway onto the main road. Given these gates are less than 100m from the proposed development the fear is that these gates will used even more.

7.2.6 Southrop has deployed 2 speed cameras, and works closely with Police, RAF, Thyme and their suppliers to bring speeds lower. In response to these traffic concerns the parish council will now deploy a 3rd camera on the approach to Thyme's southerly car park in an effort to calm those speeds on an unlit, unfootpathed, single carriageway road that runs through a well populated domestic housing area i.e. 50% of village households. Reference Mrs J Hadland's objection. Southrop traffic, despite our efforts, is only barely under control. This latest application will add to it.

7.2.7 Furthermore the use of conservation area and Listed building status are meant to protect these precious spaces and buildings. This application impinges on both, and if permitted warns this and other villages that these protections may be meaningless.

7.2.8 Specifically, we reiterate:

7.2.9 The development will be highly visible from many parts of the existing conservation area, inc road, pub, footpaths and listed buildings. This will have a substantial and permanent impact on our village context. Lighting during hours of darkness will make these stand out all the more.

7.2.10 Neighbours, who live in listed buildings, note the development is right on their boundaries, highly visible, hard to obscure, with loss of privacy. The application presses too much into a small and precious green space. See objection comments from Ms R Reid and Ms S Dale.

7.2.11 There is a plant room (to service the leisure facility's saunas, hot pools etc.) proposed close to a party wall, offering the possibility of continuous noise in an otherwise peaceful setting. We are also concerned what will happen to the hot/treated waters being proposed and how this will be released back into the environment. This implies substantial plant.

7.2.12 The development proposes 3 bedrooms, with the probability of 24/7 noise and light pollution; ie this isn't just a daytime facility. Once more in a small quiet village.

7.2.13 This development is on land that hitherto has not been developed, and there is considerable concern that more of the adjacent land will be developed in the future unless a constraint is placed on the current development proposal."

8. Other Representations:

8.1 50 third party representations have been received, objecting to the application on the grounds of:

- i. Site is a greenfield site which is an important open space in the Conservation Area (including setting of listed buildings)
- ii. Proposal would harm Southrop's heritage and Conservation Area
- iii. Proposals not in keeping with Southrop
- iv. Proposed designs not vernacular, unsympathetic and out of character
- v. Proposed buildings would cause harm to the beauty of Southrop
- vi. Impact of proposal on listed buildings not considered by Conservation Officer

- vii. Proposals detrimental to the setting of listed buildings
- viii. Consider harm to setting of listed buildings and conservation area less than substantial, and considered not to be outweighed by public benefits
- ix. Insufficient assessment of impact on heritage assets and disagreement with conclusions drawn from the assessment provided
- x. Proximity of proposals to neighbour dwellings (including listed buildings)
- xi. The antiquity and heritage of Southrop must be preserved above all else, and no new-build of that ilk permitted
- xii. Impact on views from Public Rights of Way
- xiii. Harm to the Cotswolds National Landscape (AONB) (including to its tranquillity)
- xiv. Proposal overdevelopment and causes urbanisation
- xv. Impact on local wildlife
- xvi. Light pollution and lose of peace and tranquillity
- xvii. Noise and disturbance to neighbours, both during construction and use (including plant room)
- xviii. Overlooking and impact on privacy
- xix. Amendments to scheme have not fully addressed issues regarding residential amenity
- xx. Buildings would dominate outlook from neighbours (and garden areas/outbuildings)
- xxi. No restrictions on use of buildings in the future
- xxii. Impact of traffic going to and from hotel (including helicopters)
- xxiii. Highway safety issues with lack of pavements, children using road and speed of drivers
- xxiv. Breaches of condition on other applications and use of access unlawfully in breach of condition
- xxv. Issue with parking within village (by staff and visitors to the pub)
- xxvi. Would prefer to see more horses than cars
- xxvii. Concern over potential further expansion of the site
- xxviii. Supporters may not have inspected the site or have concerns over their job
- xxix. Supporters do not live in the village, it is their second home, or live in a location whereby they don't experience the inconveniences caused
- xxx. Lack of information provided/consultation with neighbours and local residents
- xxxi. Facilities not accessible to residents of Southrop
- xxxii. Harm to the character of the village by virtue of the growth of Thyme
- xxxiii. Dislike of how the business is run
- xxxiv. Conduct of visitors of Thyme

- xxxv. Concerns over the village becoming a sort of Disneyland
- xxxvi. Impact on the village with a 'village within a village'
- xxxvii. Development not needed
- xxxviii. Adverse impacts of previous development
- xxxix. Development elsewhere refused
- xl. Lack of affordable houses
- xli. Query over when information was submitted and processes
- xl.ii. Planning and conservation departments have been weak even lazy in the defence of the many planning policies in place to protect listed buildings conservation areas and the integrity of our village and its residents
- xl.iii. Concerns over capacity of sewage treatment plant
- xl.iv. Overlooking when roof maintained
- xl.v. Inappropriate materials (and appearance of roof on wellbeing studio)
- xl.vi. Dimensions not provided on plan
- xl.vii. Concern over location of plant room
- xl.viii. Concerns over compliance with conditions
- xl.ix. Lack of lighting details (can concerns over effectiveness of a condition)
- l. Conditions should restrict the use site
- li. Lack of LVIA, Noise Impact Assessment and Sound Insulation Requirements and Vent/Extraction Statement required by the Validation Checklist
- lii. Preapplication advice not made public
- lii.iii. Proposals not 'small scale'
- lii.iv. Loss of field which currently relating run off during wet periods
- lii.v. Support for the existing business and conversion of buildings
- lii.vi. Historic link between the site and Dovecote not properly assessed
- lii.vii. Latest amendment to scheme includes improvements but do not resolve concerns

8.2 1 third party representations have been received (submitted by an Associate Heritage Consultant on behalf of a neighbour). They have also subsequently written in objection to the proposal. The comment raised a number of concerns over the level of information provided as well as the potential impact of the development of heritage assets.

8.3 36 third party representations have been received, supporting the application on the grounds of:

- i. Support for works previously undertaken at Thyme and business

- ii. Need for continued investment and growth
- iii. Proposals would be an asset to the area and would support of the rural economy
- iv. Creates jobs for people in the village
- v. Would support Thyme over the winter period
- vi. Support of facilities the community can use within the village
- vii. Proposal in keeping with the surrounding buildings
- viii. Design sensitive to the area
- ix. Thyme has undertaken previous conversion and extensions sensitively and to a high standard
- x. Limited visibility of buildings outside Thyme
- xi. Spa would create little to no noise
- xii. Traffic issues in Southrop unrelated to Thyme (village used as a cut through)
- xiii. Most of Thyme traffic utilises access outside village
- xiv. Spa would not result in additional traffic
- xv. Contribution applicants make to the village community

9. Applicant's Supporting Information:

- Aboricultural Impact Assessment and Method Statement, dated July 2025.
- Design, Access, Planning and Heritage Statement, dated June 2025 (updated August 2025).
- Drainage Strategy, reference U0666 -Rev - V1. Prepared by UrbanWater
- Preliminary Ecological Appraisal Report, reference 2025-031 Version 1, dated 15/07/2025. Prepared by smart ecology
- Biodiversity Self-Assessment Form, dated 18/07/2025
- SKY GARDEN WILDFLOWER BLANKET SYSTEM SGWBSS01 - SYSTEM SUMMARY
- SKY GARDEN WILDFLOWER BLANKET SYSTEM - SYSTEM DIAGRAM Version 1.1
- Suggested Amendments Following Meeting at 'The Dovecot' 16th October 2025 letter from agent
- Letter from agent dated 5th December 2025

10. Officer's Assessment:

- 10.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 states that 'If regard is to be had to the development plan for the purpose of any determination

to be made under the planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise.' The starting point for the determination of this application is therefore the current development plan for the District which is the adopted Cotswold District Local Plan 2011 - 2031.

- 10.2 The policies and guidance within the National Planning Policy Framework (NPPF) are also a material planning consideration.
- 10.3 In addition to the above, it is noted that the Government published a draft version of the NPPF on the 16th December 2025. The consultation period for the aforementioned document expires on the 10th March 2026 and it is anticipated that a final version of the NPPF will be released in Spring 2026. Whilst the draft NPPF is a consultation document, it is considered that the proposed policies within it are a material consideration and must be given a degree of weight at the present time.

Background and Proposed Development

- 10.4 The proposal involves the erection of a single-storey building and an extension to provide additional spa/wellness facilities and a single and two-storey separate building for additional residential/hotel accommodation.
- 10.5 The largest building comprises the wellness facilities including yoga studio, spa pools, sauna and changing rooms. The changing rooms and spa pool create an L-shape around a pool courtyard leading to the existing swimming pool. To the south of these is a wing with sauna and yoga studio. North to south it would measure approximately 32m and east to west it would measure approximately 16m. The L-shape has a flat green roof with an overall height of approximately 2.9m (taken from the pool courtyard side). It would be significantly glazed in the courtyard facing elevations, with an oak frame. The rear elevations would be less glazed, although still with glazed areas, and clad in oak.
- 10.6 The wing to the south is at a lower level (circa 0.5m) and has a dual pitched roof. It would have eaves and ridge heights of approximately 2.3m and 4.8m respectively. It would be constructed with rubblestone walls and a slate tile roof.
- 10.7 In addition, a relaxation room would be attached to the existing treatment rooms, Stable Cottage. It would be a heavily glazed green flat roofed structure. It would

extend to the side of the cottage by approximately 7.2m with a depth of approximately 4.2m. The main roof would have a height of 2.9m, with a stone chimney extending to 3.2m.

- 10.8 The third structure comprises the accommodation, including three guest bedrooms and linking garden room. This structure includes a single-storey element, a link, and a two-storey element. The single-storey element has a footprint of approximately 7.5m by 5.5m, with eaves and ridge heights of approximately 2.2m and 4.7m respectively. The two-storey element would have a footprint of approximately 5.8m by 9.5m, with eaves and ridge heights of approximately 3.8m and 7.2m respectively. The first floor would be accessed via external tallet steps. Both would be constructed with rubble stone walls and stone roof tiles. These are set at an angle to each other with a glazed flat roofed linking structure approximately 5.9m in length (maximum) with a height of 2.6m.

(a) Principle of Development

- 10.9 Southrop is considered to be a Non-Principal Settlement due to its size and the services and facilities available within it.
- 10.10 The proposal includes two main sections - additional bedroom accommodation and additional wellness facilities. Both of these would be operated as part of Thyme, and as such, are considered to be associated with existing tourist proposal:

"Hotels and Serviced Accommodation:

- 1. New hotels and other serviced accommodation will only be permitted where the proposal:*
 - a. is provided through the change of use of existing buildings, especially where this would involve the conservation of a listed or other historic building; or*
 - b. is appropriately located within Development Boundaries.*
- 2. Exceptionally, proposals for a new hotel that is directly associated on-site with a tourist attraction, and required to sustain the viability of the tourist attraction, will be acceptable."*

- 10.11 Supporting Paragraph 9.11.1 states *"Generally, hotel accommodation in the District is considered to be adequate, but with scope for the upgrading of existing facilities and further development of conference facilities. Hotels and other serviced accommodation will normally be acceptable within settlements as well as extensions to existing facilities."*
- 10.12 The proposal is linked to an existing hotel and would involve the upgrading of existing facilities. It is therefore considered to be acceptable in principle.
- 10.13 Local Plan Policies EC1 (Employment Development) and EC3 (Proposals for all types of Employment-Generating Uses) also support the retention and appropriate growth of local employment opportunities.
- 10.14 Furthermore, Section 6 of the National Planning Policy Framework (NPPF) supports building a strong, competitive economy, including a prosperous rural economy. NPPF Paragraph 88 specifies decisions should enable *"c) sustainable rural tourism and leisure developments which respect the character of the countryside"*.
- 10.15 Policy E4 within the draft NPPF is similarly supportive of facilities to support rural leisure and tourism.
- 10.16 The principle of the development is therefore considered to comply with Local Plan Policies EC1, EC3, EC11 and NPPF Section 6.

(b) Design and Impact on Heritage Assets

- 10.17 Section 66(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 states that when considering whether to grant planning permission for development which affects a listed building or its setting, the Local Planning Authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.
- 10.18 The site lies within Southrop Conservation Area, wherein the Local Planning Authority is statutorily obliged to pay special attention to the desirability of preserving or enhancing the character or appearance of the area, in accordance with Section 72(1) of the Planning (Listed Building and Conservation Areas) Act 1990.

10.19 Considerable weight and importance must be given to the aforementioned legislation.

10.20 Local Plan Policy EN1 seeks where appropriate, to promote the protection, conservation and enhancement of the historic and natural environment.

10.21 Local Plan Policy EN2 states that *'Development will be permitted which accords with the Cotswold Design Code. Proposals should be of design quality that respects the character and distinctive appearance of the locality.'*

10.22 Local Plan Policy EN10 states:

'1 In considering proposals that affect a designated heritage asset or its setting, great weight will be given to the asset's conservation. The more important the asset, the greater the weight should be.

2 Development proposals that sustain and enhance the character, appearance and significance of designated heritage assets (and their settings), and that put them to viable uses, consistent with their conservation, will be permitted.

3 Proposals that would lead to harm to the significance of a designated heritage asset or its setting will not be permitted, unless a clear and convincing justification of public benefit can be demonstrated to outweigh that harm. Any such assessment will take account, in the balance of material considerations:

- The importance of the asset;*
- The scale of harm; and*
- The nature and level of the public benefit of the proposal.'*

10.23 Local Plan Policy EN11 Designated Heritage Assets - Conservation Areas states:

'Development proposals, including demolition, that would affect Conservation Areas and their settings, will be permitted provided they:

- a. Preserve and where appropriate enhance the special character and appearance of the Conservation Area in terms of siting, scale, form, proportion, design, materials and the retention of positive features;*
- b. Include hard and soft landscape proposals, where appropriate, that respect the character and appearance of the Conservation Area;*

- c. *Will not result in the loss of open spaces, including garden areas and village greens, which make a valuable contribution to the character and/or appearance, and/or allow important views into or out of the Conservation Area.*
- d. *Have regard to the relevant Conservation Area appraisal (where available); and*
- e. *do not include internally illuminated advertisement signage unless the signage does not have an adverse impact on the Conservation Area or its setting.'*

10.24 Section 12 of the NPPF seeks to achieve well designed places. Section 16 of the NPPF seeks to conserve and enhance the historic environment. Paragraph 212 states that when considering the impact of the proposed works on the significance of a designated heritage asset, great weight should be given to the asset's conservation. Paragraph 213 states that any harm to or loss of significance, through alteration or development within the asset's setting should require clear and convincing justification. Paragraph 215 states that where proposals will cause harm to the significance of a designated heritage asset that is less than substantial harm, that harm is weighed against the public benefits of those works.

10.25 Policies HE4, HE5, HE6 and HE9 in the draft NPPF address the impact of development within of designated heritage assets.

10.26 Further guidance is available within the Cotswold Design Code, the National Design Guide, and Historic England's Historic Environment Good Practice Advice in Planning: Note 3.

10.27 With regard to the impact of the development on the Conservation Area, the Council's Design and Conservation Officer has advised:

10.27.1 "The application site lies within the designated conservation, the boundary of which follows the original, curved boundary to the south of Southrop Lodge. The application site is a not unattractive open space, which appears to have been associated with, and within the historic curtilage of Southrop Lodge, rather than part of the wider agricultural landscape, albeit it a functional rather than an aesthetic capacity. The general character of the immediate context is very much edge-of-settlement, with former farm buildings to the west, and the designed pleasure grounds and orchard of Southrop Lodge to the east. The site does not appear to have been intentionally, aesthetically designed, and does not contribute to any significant views and is not widely visible. The site contributes to the historic

value, character and appearance of the conservation area primarily as a space that appears to have been associated with Southrop Lodge, and an integral part of the transitional, edge-of-settlement area. The site is of some aesthetic value (fortuitous rather than designed) as an open space; but as it is not widely visible with no significant view, it is not an important open space, and as such, makes a very limited contribution to the character and appearance of the wider conservation area, other than simply forming a part of the general, edge-of-settlement transition between the village and the surrounding countryside.

10.27.2 The proposed development of the site with low-density, sympathetically-designed buildings that are intended to either resemble ancillary outbuildings appropriate to a quasi-agricultural, edge-of-settlement site, and discrete contemporary buildings beneath low, green roofs, would reflect and sustain the traditional, edge-of-settlement character of the context, and the association with Southrop Lodge would also be sustained. The loss of the open paddock itself would entail some very limited loss of aesthetic (fortuitous) value, although the wider impact upon the character, appearance and significance of the conservation area would be negligible. Therefore, there may, potentially, be some harm, but this would, at most, be of a very limited nature, and at the extreme bottom of the less-than-substantial spectrum. Any such harm should be weighed against any public benefits that would accrue from the proposal in accordance with Paragraph 215 of the N.P.P.F."

- 10.28 With regard to the setting of listed buildings, the Conservation Officer has provided an assessment of the impact on those close to the site as well as the value of the open space part of the site (Appendix A). The site is considered primarily to have historically been associated with Southrop Lodge, with a functional association. It is considered that the contribution that the site makes to the setting and significance of Southrop Lodge is modest. Due to the design of the proposal, as above and detailed below, it is considered that the proposed development would not cause any harm to the setting or significance of Southrop Lodge. The relaxation room would be attached to the Stable Cottage, within the historic garden area of Southrop Lodge and curtilage listed to it. Whilst the proposal is linked to Stable Cottage the design would result in the appearance of a distinct, but abutting garden structure, rather than an extension, which is considered suitable for the site. The proposal would also include the removal of a modest section of historic wall, providing an entrance way and in association with the extension. Whilst creating an opening, the

majority of the wall would remain intact and would retain its form and significance as a boundary between Southrop Lodge and the field.

- 10.29 Regarding The Dovecote, this was a functional, agricultural building, which would not have had an aesthetically-designed setting, with the site's contribution to its setting considered limited to the general, edge-of-settlement character of its surroundings. As such, given the quasi-agricultural, edge-of-settlement design of the proposals, it is considered that the proposed development would cause any harm to the setting or significance of The Dovecote.
- 10.30 Regarding Newman's House, this appears to comprise a 17th and 18th century house. There is little direct intervisibility between Newman's House and the site. The site is considered to make only a limited contribution to its setting and significance, with a general, edge-of-settlement character. Given the design approach, the proposal is considered to have little impact upon Newman's House, and consequently it is not considered that the proposed development would cause any harm to the setting or significance of Newman's House.
- 10.31 It is noted that historically the site and the aforementioned listed buildings may have been under shared ownership. As part of the evolution of the village the field boundaries have changed over time, and with the current arrangement it is considered the significance of their setting is a laid out above.
- 10.32 With regard to other listed buildings, the Conservation Officer notes *"The other listed buildings within this part of the village are at greater distance to the site, which contributes little to their setting or significance, and consequently it is not considered that the proposed development would cause any harm to their setting or significance."*
- 10.33 Overall, the proposed development is considered to be low-density, with sympathetically-designed buildings that are intended to either resemble ancillary outbuildings and discrete contemporary buildings beneath low, green roofs. The most enclosed element of the proposal relates to the proposed spa pools and changing rooms. This aspect comprises an L-shaped contemporary addition, with light weight glazing and timber with green roof. This juxtaposition of a contemporary structure, but of a scale proportionate to its surrounds and incorporating traditional materials, is considered to fit well within this section of

the site. It follows a courtyard pattern reflecting the agricultural nature of the area. Details of the green roof would be required by condition.

- 10.34 The more traditionally designed buildings to the south of the site are considered appropriate to a quasi-agricultural, edge-of-settlement site, which would reflect and sustain the traditional, edge-of-settlement character of the context.
- 10.35 The Conservation Officer has advised the following regarding the other aspects of the proposal:

"Yoga studio."

10.35.1 In the middle is a linear range on the western side of the site. This echoes the form and roof pitch of several former agricultural structures within the context, and appears reasonable.

10.35.2 The building now takes the form of a six-bay shelter shed, the arrangement of the posts and lintels has now been improved, and following historic precedent elsewhere on the site, the roof is now proposed to be clad in blue slate.

Relaxation room.

10.35.3 The relaxation room, which also comprises the extension to The Oxhouse, would comprise a simple, clean, contemporary, oak and glass structure with a green roof, echoing the design of the changing-room building. The room would be accessed from the curtilage-listed building through an existing, modern pair of French doors, and a narrower, lower link would give the room the appearance of a distinct, but abutting garden structure, rather than an extension.

Bedrooms.

10.35.4 The overall form and massing of the southern, bedroom range, follows the preapplication discussions, with two outbuilding-style structures with a light-weight link.

10.35.5 The fine detailing of the proposal has gone through a number of refinements, and the final design is clean, simple and appropriate.

10.35.6 The link echoes the architectural language of the relaxation room and the changing room building, and will allow visual permeability through the building, and allow the two ends of the structure to rear visually as separate elements. The western end appears as a simple interpretation of a small stable with hayloft above, with tallet steps to the north, and simple, clean, rectangular openings. These openings have no expressed lintels and glazing with minimal frames, but in a building that is a subtle, simple contemporary interpretation, this could work.

10.35.7 There has been discussion over whether the stone should be pointed or left unpointed. The latter would be preferable, as it would both emphasise that the structure is an interpretation, rather than pastiche; furthermore, there is some historic precedent for outbuilding, even two storey ones of entirely dry-stone construction. This could be clarified by way of a conditioned sample panel."

- 10.36 Some amendments have been submitted since these comments to address concerns raised by neighbour. It is considered that these amendments do not materially alter the above assessment with regard to the impact of the proposal on heritage assets.
- 10.37 Overall, subject to details, the proposals are considered to reflect the quasi-agricultural nature of the site, and setting of nearby listed buildings, and the rural context of the village and Conservation Area. The proposals are considered to preserve the setting of the listed buildings, and the significance of Stable Cottage.
- 10.38 The Conservation Officer has identified that there may be some harm to the significance of the Conservation Area, but has advised that this would be, *"at most, be of a very limited nature, and at the extreme bottom of the less-than-substantial spectrum."* Paragraph 215 states that where proposals will cause harm to the significance of a designated heritage asset that is less than substantial harm, that harm is weighed against the public benefits of those works. In this case, the proposal would support the continued growth of Thyme, a business that provides employment and facilities within a rural village where alternative opportunities are limited. This represents a clear public benefit. Given the very limited level of harm identified, only a modest degree of public benefit is required to outweigh that harm. On balance, it is considered that the public benefits of the proposal would outweigh the identified harm.

10.39 The proposal is therefore considered to accord with the design and heritage considerations of Local Plan Policies EN2, EN4, EN10 and EN11, and Sections 12 and 16 of the NPPF.

10.40 The draft NPPF incorporates a greater level of detail on what would be expected from an assessment submitted with an application; however, given the conclusions drawn above, as well as the limited weight given to the policies of the draft NPPF at this time, the level of information submitted is considered sufficient. The proposal is considered to generally accord with the policies of the draft NPPF.

(c) Impact on the Cotswolds National Landscape (Area of Outstanding Natural Beauty)

10.41 The site is located within the Cotswolds National Landscape (Area of Outstanding Natural Beauty). Section 85(A1) of the Countryside and Rights of Way (CROW) Act 2000 (as amended by Section 245 of the Levelling-up and Regeneration Act 2023) states that relevant authorities have a duty to seek to further the purpose of conserving and enhancing the natural beauty of the area of outstanding natural beauty.

10.42 Local Plan Policy EN1 states that new development will, where appropriate, promote the protection, conservation and enhancement of the historic and natural environment by:

- a. ensuring the protection and enhancement of existing natural and historic environmental assets and their settings in proportion with the significance of the asset;*
- b. contributing to the provision and enhancement of multi-functioning green infrastructure;*
- c. addressing climate change, habitat loss and fragmentation through creating new habitats and the better management of existing habitats;*
- d. seeking to improve air, soil and water quality where feasible; and*
- e. ensuring design standards that complement the character of the area and the sustainable use of the development.*

10.43 Local Plan Policy EN4 states that development will be permitted where it does not have a significant detrimental impact on the natural and historic landscape (including the tranquillity of the countryside) of Cotswold District or neighbouring areas, and that proposals will take account of landscape and

historic landscape character, visual quality and local distinctiveness. They will be expected to enhance, restore and better manage the natural and historic landscape, and any significant landscape features and elements, including key views, the setting of settlements, settlement patterns and heritage assets.

- 10.44 Local Plan Policy EN5 Cotswolds Area of Outstanding Natural Beauty (AONB) states that in determining development proposals within the AONB or its setting, the conservation and enhancement of the natural beauty of the landscape, its character and special qualities will be given great weight.
- 10.45 Paragraph 187 of the NPPF states that planning policies and decisions should contribute to and enhance the natural and local environment by *'protecting and enhancing valued landscapes' and 'recognising the intrinsic character and beauty of the countryside'*.
- 10.46 Paragraph 189 of the NPPF states that *'great weight should be given to conserving and enhancing landscape and scenic beauty in ... National Landscapes which have the highest status of protection in relation to these issues.'*
- 10.47 The draft NPPF amends the wording of the weight given to the protection of 'Protected Landscapes', which include National Landscapes, to require *[s]ubstantial weight should be placed on the importance of conserving and enhancing the natural beauty of these areas*. The consultation document clarifies that *"[t]he current Framework uses a number of terms where the government expects weight to be given to particular matters (great, significant, substantial). In general, these are not intended to imply any sort of 'weighting' hierarchy, so we are proposing that 'substantial' is used throughout the document where positive weighting of this sort is intended."*
- 10.48 In addition, Cotswold District Council endorsed the Cotswolds National Landscape Management Plan 2025-2030 on the 8th May 2025 within which Policy CE13 is of relevance as it deals with 'Development and infrastructure - principles'. This policy includes:
- 'CE13.1. Development and infrastructure proposals in the Cotswolds National Landscape (CNL) and its setting should be delivered in a way that is compatible with and seeks to further the conservation and enhancement of the natural beauty of the CNL including its special qualities. In doing so, they should have regard to -*

and be compatible with the CNL Management Plan and guidance produced by the CNL Board'

10.49 The site is classified in the Cotswolds Conservation Board's Landscape Character Assessment (LCA) as within Landscape Character 12 the Dip-Slope Lowland Valley, and within this the Character Area 12C Lower Leach Valley. The Cotswolds Conservation Board's Landscape Strategy and Guidelines advise the *"Dip-Slope Lowland Valleys are deeply rural and are therefore sensitive to developments that might compromise this characteristic"* although *"[e]xisting valley settlements also have a reduced sensitivity to change"*.

10.50 As part of this, Potential Landscape Implications include:

- *Intrusion of expanded settlement fringes into the landscape.*
- *Erosion of distinctive settlement patterns due to settlement growth and coalescence.*
- *Loss/dilution of organic growth patterns of settlements including the relationship between the historic core and adjacent historic fields, paddocks and closes*
- *Proliferation of suburban building styles, housing estate layout and materials and the introduction of ornamental garden plants and boundary features*
- *Increased traffic leading to increased damage to road verges and roadside hedges and walls and the creation of informal passing places*
- *Introduction and accumulation of lit areas and erosion of characteristically dark skies.*
- *Loss of archaeological and historical features, field patterns and landscapes.*
- *Interruption, weakening or loss of the historic character of settlements and the historic context in how they have expanded, especially the importance of the relationship between the historic core of the settlement and surviving historic features such as churchyards, manor houses, burgage plots, historic farms, pre-enclosure paddocks and closes*

10.51 Suggested Landscape Strategies and Guidelines include:

- *Maintain the sparsely settled character of the Dip-slope Lowland Valley by limiting new development to existing settlements.*
- *Avoid development that will intrude negatively into the landscape and cannot be successfully mitigated, for example, extensions to settlements on visible valley slopes.*

- *Ensure new development is proportionate and does not overwhelm the existing settlement*
- *Ensure that new development does not adversely affect settlement character and form or impact on views of key features such as church towers.*
- *Avoid developments incorporating standardised development layout, suburban style lighting, construction details and materials that cumulatively can lead to the erosion of peaceful landscape character.*
- *Layout of development should respect local built character and avoid cramming up to boundaries resulting in hard suburban style edge to the settlement.*
- *Control the proliferation of suburban building styles and materials*
- *Promote the conservation and/or encourage the restoration of existing stone buildings in preference to new built development particularly in rural areas.*
- *Promote the use of local stone and building styles in the construction of new buildings and extensions to existing dwellings. (New buildings should, at least, respect local vernacular style).*
- *Conserve the existing dark skies.*
- *Adopt measures to minimise and where possible reduce light pollution*
- *Retain existing trees, dry stone walls, hedges etc as part of the scheme.*
- *Break up harsh edges of new development with appropriate and adequate tree planting ideally in advance of the development taking place.*
- *Ensure the density of new development reflects its location relative to the 'core' of the settlement and its proximity to the surrounding rural landscape*
- *Consider the impact on local Public Rights of Way as settlements expand and take into account any required improvements*

10.52 Whilst the site provides an open area, due to the walling on three sides, it provides limited views through from the village to the fields beyond. Whilst the development would be next to historic buildings within the village it would not adversely affect views of key features within it. The settlement boundary is irregular in this location, and the proposal would essentially infill an area, with the design retaining the informal edge of this part of the settlement. The scale of the development is considered proportionate to the existing village and would not overwhelm it.

10.53 The proposals, as amended, includes guest bedroom accommodation (and garden room) which extends in line with the boundary to the east, but also include elements which are stepped back from this existing boundary. Whilst there would be areas of glazing along this boundary elevation, this is primarily at ground floor level and therefore limits the degree of light spill. The building

is considered to appear as the edge of the village, rather than as an intrusion into the landscape. Additionally, there is a secondary wall and boundary to the south of the site (approximately 32m away) which forms the edge of the conservation area and wider field. This boundary is relatively tall as a field boundary, although there is a gateway which provides a clearer view. This wall provides visual separation between the PROWs within the field and the proposed development, as well as retaining the existing field. The design of this building reflects agricultural buildings and utilises high quality traditional local materials.

- 10.54 The development to the north, has a generally low form, with a more contemporary design. This approach is considered suitable for the less sensitive inner section. The overall design remains reflective of the quasi-agricultural character of the site and part of the settlement. The density of the proposal remains relatively low, suitable for the surrounding context.
- 10.55 External lighting has the potential to adversely affect the dark skies of the National Landscape, as well as appearing suburban in character. As such, a condition is recommended to require a lighting scheme to be submitted and approved.
- 10.56 The proposed use as part of the existing hotel is considered not to negatively affect the peaceful landscape character of the site, especially with the structure on the edge comprising primarily of bedrooms. As such, both the principle of the use of this area of land, as well as the design of the proposal is considered to be acceptable with regard to the impact on the Cotswolds National Landscape.
- 10.57 The proposal is therefore considered to conserve the natural beauty of the Cotswolds National Landscape in accordance with Local Plan Policies EN4 and EN5, Section 15 of the NPPF, and the Cotswolds National Landscape Management Plan.

(d) Impact on Residential Amenity

- 10.58 Local Plan EN2 advises proposals should accord with the Design Code. This includes sections relating to privacy, loss of daylight and overbearing.
- 10.59 Local Plan Policy EN15 states:

1. Development will be permitted that will not result in unacceptable risk to public health or safety, the natural environment or the amenity of existing land uses through:

a. pollution of the air, land, surface water, or ground water sources; and/or

b. generation of noise or light levels, or other disturbance such as spillage, flicker, vibration, dust or smell.

10.60 Paragraph 135 states *Planning policies and decisions should ensure that developments:*

f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.

10.61 The nearest neighbouring properties (outside the ownership of the applicant) are The Dovecote (listed building address Barn Approximately 30 Metres To South East Of Newmans House) and Newmans House (also listed). These are to the west of the site and share a boundary with it.

10.62 The dwellinghouse of The Dovecote is separated from the site by approximately 16m at its closest corner, with a stone wall along the boundary. Perpendicular, and attached, to the wall is an outbuilding (ancillary guest accommodation) serving this dwellinghouse, with pool to the front. It benefits from an additional garden area to the west of the dwellinghouse. The dwellinghouse of Newmans House is separated from the site by approximately 38m. A detached outbuilding is located between them, approximately 17m from the boundary with the site.

10.63 The proposal has been amended to reduce and relocate plant rooms away from the boundary near the ancillary accommodation.

10.64 The proposed yoga studio and spa pool building runs parallel to the boundary wall with these neighbours, separately by approximately 1.8m. In addition, the single-storey bedroom structure would similarly be located near the boundary. Third parties have raised that the land levels of the neighbours are somewhat lower than the site; however, the overall land is relatively level and it is considered that the level differences would be limited. Given the proposed

structures height and separation from windows within the ancillary accommodation, and main houses, the proposals are considered not to unacceptable affect the residential amenity of the occupiers of these buildings with regard to loss of daylight or overbearing. The windows facing this boundary are at single-storey level and as such the proposal is also considered not to cause unacceptable adverse impacts on the neighbours with regard to loss of privacy as a result of these.

- 10.65 Concerns have been raised in relation to the use of this area as part of the hotel, with overlooking possible over the wall into the garden and pool area of The Dovecote. To the north west the site and part of the garden of The Dovecote are separated by a taller wall (circa 1.8-2m); however, the wall along the boundary alongside The Dovecote's swimming pool is lower, allowing potential views across this area. For most guests this area would not be more available than currently so, with a wall and fences proposed to limit their access to the boundary wall, and as such, their views over this area. The guests within the bedrooms would be able to access the area to the south, which shares a boundary. However, this would be limited to a small number of people at any time, and is not indicated as a siting out area or similar. In addition, The Dovecote benefits from other garden areas and there are nearby PRow's with a degree of overlooking from these possible. It is also noted that concerns have been raised regarding overlooking whilst the flat green roofs are being maintained. Whilst those maintaining the roof would have greater views over garden areas, this would be undertaken for relatively brief periods, with workers engaged in their task. This is considered reasonable and not dissimilar to many a situation where works are required for maintenance of taller structures or trees. Given this, it is considered that the proposal would not result an unacceptable level of overlooking/loss of privacy.
- 10.66 The use of the bedrooms, although potentially occupied throughout the day and night are considered unlikely to result in unacceptable noise levels given the number of rooms and nature of the use of these.
- 10.67 The wellness facility, including yoga studio, whilst intended for calm activities, but could be used with louder music. The Environmental Health Officer has therefore advised the inclusion of a condition to manage the impact of any amplified music. Whilst the neighbour is divided by a wall and the yoga section of the building is located away from the boundary, there is the potential for music at a volume which would unduly disturb the neighbouring properties. It

is expected for the use of the building including the yoga studio would not result in an unacceptable level of noise; however, there may be some disturbance, and as such it is considered reasonable to include a condition which would restrict operational hours such that it could not be operated between 9pm and 6am.

- 10.68 Other properties around the site are either associated with Thyme for which any noise and disturbance concerns would be expected to be addressed by Thyme, or a separate residential properties located further from the site than those discussed above. Given the greater level of separation, it is considered that the impact on these properties would be acceptable.
- 10.69 Concerns have been raised in relation to the use of the area for a bar or similar. It is noted that the area formed part of the area which was previously granted a change of use, and as such could be used for such activities (on the basis that this did not include operational development). However, the addition of structures in the area could increase the likelihood of this occurring. Additionally, without control the buildings proposed could be operated for alternative uses associated with the hotel. Some of these uses may result in disturbance to the neighbouring properties. It is therefore recommended that a condition to ensure the buildings and amenity areas are used for the purposes indicated on the site plan.
- 10.70 As such, subject to condition the impact on the neighbouring properties amenity is considered acceptable, and in accordance with Local Plan Policies EN2 and EN15, and Section 12 of the NPPF.

(e) Highway Safety

- 10.71 Local Plan Policy INF4 states that development will be permitted that provides safe and suitable access and has regard, where appropriate, to the Manual for Gloucester Streets.
- 10.72 Local Plan Policy INF5 states that development will provide residential and non-residential vehicle parking where there is clear and compelling evidence that such provision is necessary to manage the local road network.
- 10.73 Section 9 of the NPPF promotes sustainable transport. Paragraph 114 of the NPPF states that in applications for development, *'it should be ensured that:*

- a) *sustainable transport modes are prioritised taking account of the vision for the site, the type of development and its location;*
- b) *safe and suitable access to the site can be achieved for all users;*
- c) *the design of streets, parking areas, other transport elements and the content of associated standards reflects current national guidance, including the National Design Guide and the National Model Design Code; and*
- d) *any significant impacts from the development on the transport network (in terms of capacity and congestion), or on highway safety, can be cost effectively mitigated to an acceptable degree through a vision-led approach.'*

10.74 The proposal seeks to provide additional facilities and accommodation to an existing facility. The proposal does not include direct access to these areas by car, with the guests expected to utilise the existing car park associated with Thyme. A number of objections have been raised in relation to traffic through the village as a whole, as well as in relation to traffic to Thyme.

10.75 Gloucestershire County Council Highways Officer has advised:

10.75.1 "I have of course given this application a great deal of consideration and thought in recognition of the numbers of letters of primarily, objection and secondly, in support of this development.

10.75.2 I have arrived at my decision based on the increase of 3 bedrooms added to the existing 28 that are currently at the hotel. The additional spa features are what can be expected at a hotel of this scale and therefore I do not wish to raise any objections to the development.

10.75.3 The Highway Authority has undertaken an assessment of the planning application. Based on the analysis of the information submitted the Highway Authority concludes that there would not be an unacceptable impact on Highway Safety or a severe impact on congestion. There are no justifiable grounds on which an objection could be maintained.

10.75.4 The Highway Authority therefore submits a response of no objection".

10.76 Officers agree that given the limited number (and proportion) of additional bedrooms proposed, and that the majority of the built form is to provide additional facilities to accommodate existing guests, that the impact on highway safety would not be unacceptable. The existing parking area is

considered sufficient to accommodate the additional cars which may result from the proposal.

- 10.77 The proposal is therefore considered to accord with the requirements of Local Plan Policies INF4 and INF5 and Section 9 of the NPPF.

(f) Trees

- 10.78 Local Plan Policy EN7 requires development to conserve and enhance natural assets likely to be affected, including trees, hedgerows, and woodland of high landscape amenity, ecological or historical value as well as veteran trees.
- 10.79 There are a couple of lower value trees which would be removed as part of the proposed development. This is considered acceptable subject to securing suitable replanting as part of a landscaping plan.
- 10.80 The proposal would also intrude on root protection area of two mature lime trees. It is considered that the degree by which they would intrude would not result in unacceptable detriment to the tree; however, that an arboricultural method statement would be required to ensure how the works were undertaken (i.e. how any roots were dealt with and what measures would be put in place to stop concrete leeching). A condition to this effect is therefore recommended.

(g) Biodiversity and Geodiversity

- 10.81 Local Plan Policy EN8 outlines that development will be permitted that conserves and enhances biodiversity and geodiversity, providing net gains where possible. Furthermore, it outlines that proposals that would result in the loss or deterioration of irreplaceable habitats and resources, or which are likely to have an adverse effect on internationally protected species, will not be permitted.
- 10.82 Local Plan Policy EN9 seeks to safeguard the integrity of designated biodiversity and geodiversity sites at international, national and local scales. This conforms with Section 15 of the NPPF.
- 10.83 Section 15 of the NPPF also outlines that development should conserve and where possible enhance biodiversity and geodiversity and should not result in the loss or deterioration of irreplaceable habitats and resources.

- 10.84 A preliminary ecological assessment was undertaken and protected and priority species were not observed during it. Nevertheless, there are commuting and foraging opportunities present. The Biodiversity Officer has therefore advised that precautionary mitigation should be followed, with CDC's precautionary method of working document details considered sufficient precautionary measures in this case. A condition to this effect is therefore advised.

Biodiversity net gain

- 10.85 The proposal would result in an overall net loss in habitat units on-site (-89.07%). The PEA report identifies that the applicant intends to purchase off-site units to meet the biodiversity gain objective and discharge the biodiversity gain condition. The Biodiversity Officer has advised that this approach is acceptable; however, evidence of the unit purchase will be required to enable the successful discharge of the biodiversity gain condition.

(h) Flooding

- 10.86 Local Plan Policy EN14 requires that proposals should not increase the level of risk to the safety of occupiers of a site, the local community or the wider environment as a result of flooding, through the appropriate application of the sequential and exception tests, and the provision of site specific flood risk assessments where applicable. It requires the incorporation of flood risk management and mitigation measures in the design and layout of development proposals that provide adequate provision for the lifetime of the development, and that include a Sustainable Drainage System unless this is demonstrably inappropriate. This is in accordance with Section 14 of the NPPF.
- 10.87 The site is located within a Flood Zone 1, which is the lowest designation of flood zone, and the proposed type of development is acceptable in principle in Flood Zone 1. As such, the principle of the proposal is acceptable; however, to ensure a suitable drainage system is implemented a pre-commencement condition requiring details of this is recommended.

Other Matters

- 10.89 The CIL rate for this type of development is zero and therefore no CIL is payable.
- 10.90 Whilst a number of documents are requested as part of the Local Validation List, and it notes that the application may not be validated without this, it is at the

Council's discretion as to whether to require these before the determination of the application. The NPPF advises that *"Local planning authorities should only request supporting information that is relevant, necessary and material to the application in question"* (Paragraph 44). Planning Practice Guidance reinforces this, noting that *"Local planning authorities should take a proportionate approach to the information requested in support of planning applications."* and information requested with any particular application should be *"reasonable having regard, in particular, to the nature and scale of the proposed development"*.

10.91 Regarding the LVIA, it is considered that due consideration can be given to the impact of the proposal on the village edge and views from public vantage points without the submission of such a document. It is considered that requiring this would not be proportionate or reasonable.

10.92 Regarding a Noise Impact Assessment it is considered that given the stated intention for the use of this area that this would not inherently result in an unacceptable level of noise, and that the potential individual risks (i.e. through amplified music) could be dealt with via condition.

10.93 Regarding a ventilation statement, no mechanical ventilation has been shown as proposed, but would be conditioned which is considered adequate.

11. Conclusion:

11.1 The proposal is considered to comply with Local Plan Policies and material considerations. The proposal is considered to accord with the draft NPPF policies. As such is recommended for permission.

10. Proposed Conditions:

1. The development shall be started by 3 years from the date of this decision notice.

Reason: To comply with the requirements of Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2. The development hereby approved shall be carried out in accordance with the following drawing number(s):

Location Plan

048_01_300 Rev P4 - Proposed Site Plan
048_01_301 Rev P4 - Proposed 1F Site Plan
048_01_302 Rev P4 - Proposed Roof Plan
048_01_310 Rev P3 - Bedroom 1 & 2 Proposed Floor Plan
048_01_311 Rev P3 - South Spa Building Proposed Ground Floor Plan
048_01_312 Rev P4 - North Spa Building Proposed Ground Floor Plan
048_01_313 Rev P3 - Bedroom 3 Proposed Floor plan
048_01_314 Rev P2 - Relaxation Room Proposed Plans
048_02_300 Rev P3 - Proposed Long Section
048_02_301 Rev P2 - Proposed Site Cross Section
048_03_300 Rev P3 - Proposed South Elevation Bedroom 1, 2, and 3
048_03_301 Rev P4 - Proposed North Elevation Bedroom 1, 2, and 3
048_03_302 Rev P5 - Proposed Elevations Bedrooms 1, 2, and 3
048_03_303 Rev P3 - Proposed Elevations Wellbeing Studio
048_03_304 Rev P3 - Proposed Elevations Wellbeing Studio
048_03_305 Rev P3 - Proposed Elevations Spa
048_03_306 Rev P3 - Proposed Elevations Spa
048_03_307 Rev P2 - Proposed Elevations Greenhouse west
048_03_308 Rev P2 - Proposed Elevations Greenhouse East and South

Reason: For purposes of clarity and for the avoidance of doubt, in accordance with the National Planning Policy Framework.

3. Prior to the commencement of development, a full surface and foul water drainage scheme shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall include details of the size, position and construction of the drainage scheme, and results of soakage tests carried out at the site to demonstrate the infiltration rate. Three tests should be carried out for each soakage pit as per BRE 365, with the lowest infiltration rate (expressed in m/s) used for design. The development shall be carried out in accordance with the approved details prior to the first occupation of the development hereby approved. Development shall not take place until an exceedance flow routing plan for flows above the 1 in 100 year + 40% CC event has been submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure the proper provision for surface water drainage and/ or to ensure flooding is not exacerbated in the locality (National Planning Policy Framework and Planning Practice Guidance). If the scope of surface water drainage is not agreed before works commence, it could affect either the approved layout or completed works.

4. No development, including demolition, site clearance, or construction works, shall take place on the application site outside the hours of 08:00 to 18:00 Monday to Friday and 08:00 to 13:00 on Saturdays. No works shall be carried out on Sundays or Public Holidays.

Reason: In the interests of residential amenity on accordance with Local Plan Policy EN15.

5. Prior to the installation of any pumps and associated plant to be installed, details of these shall be submitted to and approved in writing by the Local Planning Authority. The submitted information shall include:

- Manufacturer and model specifications
- Location and mounting details
- Predicted noise levels and any proposed mitigation measures

The approved pumps and plant shall be installed and operated in accordance with the approved details.

Reason: In the interests of residential amenity on accordance with Local Plan Policy EN15.

6. No amplified sound shall be operated at the development until a noise management plan, including a technical specification and acoustic assessment prepared by a suitably qualified person, has been submitted to and approved in writing by the Local Planning Authority. The approved details shall thereafter be implemented and maintained to ensure compliance with the specification

Reason: In the interests of residential amenity in accordance with Local Plan Policy EN15.

7. No external lighting shall be installed until a lighting scheme has been submitted to and agreed in writing by the Local Planning Authority which specifies the provisions to be made for the level of illumination of the site and the control of light pollution. The scheme shall be implemented and maintained in accordance with the approved details with no additional lighting installed.

Reason: To prevent light pollution in accordance in accordance with Cotswold District Local Plan Policies EN4, EN5 and EN15.

8. The development shall be undertaken in accordance with Cotswold District Council's Precautionary Method of Working document. All of the recommendations shall be implemented in full according to the specified timescales and thereafter permanently retained.

Reason: To protect biodiversity in accordance with the Conservation of Habitats and Species Regulations 2017 (as amended), the Wildlife and Countryside Act 1981 (as amended), the Circular 06/2005, the Protection of Badgers Act 1992, paragraphs 187, 192 and 193 the National Planning Policy Framework, Local Plan Policy EN8, and in order for the Council to comply with Part 3 of the Natural Environment and Rural Communities Act 2006.

9. Prior to the construction of any external wall of the development hereby approved, samples of the proposed walling, roofing and external paving materials shall be approved in writing by the Local Planning Authority and only the approved materials shall be used.

Reason: To ensure that, in accordance with Cotswold District Local Plan Policies EN2, EN4, EN5, EN10 and EN11, the development will be constructed of materials of a type, colour, texture and quality that will be appropriate to the site and its surroundings.

10. Prior to the construction of any external wall of the development hereby approved, a sample panel(s) of walling of at least one metre square in size showing the proposed stone colour, coursing, bonding, treatment of corners, method of pointing and mix and colour of mortar (if applicable) shall be erected on the site and subsequently approved in writing by the Local Planning Authority and the walls shall be constructed only in the same way as the approved panel and shall be permanently retained as such thereafter. The panel shall be retained on site until the completion of the development.

Reason: To ensure that in accordance with Cotswold District Local Plan Policies EN2, EN4, EN5, EN10 and EN11, the development will be constructed of materials of a type, colour, texture and quality and in a manner appropriate to the site and its surroundings. Further discussions are expected as to whether some or all walling shall be pointed or unpointed. Retention of the sample panel(s) on site during the work will help to ensure consistency.

11. The oak frames and cladding shall not be stained or painted and shall be left to weather and silver naturally and shall be permanently retained as such thereafter.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policies EN2, EN4, EN5, EN10 and EN11.

12. Prior to the installation of any external doors or windows (including frame colour/finish), oak-frames, and the green roofs, in the development hereby approved, their design and details (including large scale plans and eaves details) shall have been submitted to and approved in writing by the Local Planning Authority.

The design and details shall be accompanied by drawings to a minimum scale of 1:5 with full size moulding cross section profiles, elevations and sections. The development shall only be carried out in accordance with the approved details and retained as such at all times.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policies EN2, EN4, EN5, EN10 and EN11.

13. New rainwater goods shall be of cast iron construction or a substitute which has been approved in writing by the Local Planning Authority and shall be permanently retained as such thereafter.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policies EN2, EN10 and EN11.

14. No bargeboards or eaves fascias shall be used in the proposed development.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policies EN2, EN4, EN5, EN10 and EN11.

15. The new rooflight(s) shall be of a design which, when installed, shall not project forward of the roof slope in which the rooflight(s) is/are located and shall be permanently retained as such thereafter.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policies EN2, EN4, EN5, EN10 and EN11.

16. The additional bedroom accommodation, wellness centre/spa facilities, and associated outside area hereby permitted shall be used solely for purposes ancillary to

the operation of the hotel as a wellness centre and guest accommodation as shown on the approved site plan, and retained as such thereafter. The approved areas shall not be used for any other purpose, including (but not limited to) a bar, entertainment venue, or any activity likely to cause noise disturbance to guests or neighbouring properties.

Reason: To ensure the development is used in a manner consistent with the approved use, to protect the amenity of guests and neighbouring occupiers, and to prevent activities that could result in noise or disturbance, in accordance with Policy EN15.

17. The wellness buildings, including yoga studio and spa, hereby permitted shall not be open to hotel guest or other customers outside the following times 6am and 9pm.

Reason: To protect the amenity of the locality, especially for people living and/or working nearby, in accordance with Cotswold District Local Plan Policy EN15.

18. Prior to the first use/occupation of the development hereby approved, a comprehensive landscape scheme shall be approved in writing by the Local Planning Authority. The scheme must show the location, size and condition of all existing trees and hedgerows on and adjoining the land and identify those to be retained, together with measures for their protection during construction work. It must show details of all planting areas, tree and plant species, numbers and planting sizes. The proposed means of enclosure and screening should also be included, together with details of any mounding, walls and fences and hard surface materials to be used throughout the proposed development.

Reason: To ensure the development is completed in a manner that is sympathetic to the site and its surroundings, and provides boundaries to assist in privacy for neighbouring properties, in accordance with Cotswold District Local Plan Policy EN2.

19. All fencing, walling and surfacing shown on the approved landscaping scheme shall be carried out prior to the development being brought into use or in accordance with an implementation programme first approved in writing by the Local Planning Authority.

Reason: To ensure that the hard landscaping is carried out and thereby achieves the objective of Cotswold District Local Plan Policy EN2.

20. The entire landscaping scheme shall be completed by the end of the first planting season following the completion of the first building on the site.

Reason: To ensure that the landscaping is carried out and to enable the planting to begin to become established at the earliest stage practical and thereby achieving the objective of Cotswold District Local Plan Policy EN2.

21. Prior to the commencement of any works on site (including demolition and site clearance), a Tree Protection Plan (TPP) shall be submitted to and approved in writing by the Local Planning Authority.

The TPP shall be a scaled drawing prepared by an arboriculturalist showing the finalised layout proposals, tree retention, tree/landscape protection measures and Construction Exclusion Zones (CEZs) - all in accordance with BS5837:2012 'Trees in relation to design, demolition and construction - recommendations'.

Tree protection measures shown on the TPP must be put in place prior to the commencement of any works on site (including demolition and site clearance) and shall not be removed without the written approval of the Local Planning Authority.

Reason: To safeguard the retained/protected tree(s) in accordance with Cotswold District Local Plan Policy EN7. It is important that these details are agreed prior to the commencement of development as works undertaken during the course of construction could have an adverse impact on the well-being of existing trees.

Informatives:

NOTE TO APPLICANT:

1. The Surface Water Drainage scheme should, where possible, incorporate Sustainable Drainage Techniques in order to ensure compliance with;
 - Flood and Water Management Act 2010 (Part 1 - Clause 27 (1))
 - Code for sustainable homes - A step-change in sustainable home building practice
 - The local flood risk management strategy published by Gloucestershire County Council, as per the Flood and Water Management Act 2010 (Part 1 - Clause 9 (1))
 - CIRIA C753 SuDS Manual 2015
 - The National Flood and Coastal Erosion Risk Management Strategy for England, produced by the Environment Agency in July 2020, pursuant to paragraph 9 of Section 7 of the Flood and Water Management Act 2010.
 - Updated Planning Practice Guidance on Flood Risk and Coastal Change, published on 25th August 2022 by the Environment Agency - <https://www.gov.uk/guidance/flood-risk-and-coastal-change>

- Non-statutory technical standards for sustainable drainage systems (March 2015)

2. IMPORTANT: BIODIVERSITY NET GAIN CONDITION - DEVELOPMENT CANNOT COMMENCE UNTIL A BIODIVERSITY GAIN PLAN HAS BEEN SUBMITTED (AS A CONDITION COMPLIANCE APPLICATION) TO AND APPROVED BY COTSWOLD DISTRICT COUNCIL.

The effect of paragraph 13 of Schedule 7A to the Town and Country Planning Act 1990 is that planning permission granted for the development of land in England is deemed to have been granted subject to the condition "(the biodiversity gain condition)" that development may not begin unless:

(a) a Biodiversity Gain Plan has been submitted to the planning authority, and

(b) the planning authority has approved the plan in writing.

The planning authority, for the purposes of determining whether to approve a Biodiversity Gain Plan if one is required in respect of this permission would be Cotswold District Council. There are statutory exemptions and transitional arrangements which mean that the biodiversity gain condition does not always apply. Based on the information available this permission is one which will require the approval of a biodiversity gain plan before development is begun because none of the statutory exemptions or transitional arrangements are considered to apply. If the onsite habitats include irreplaceable habitats (within the meaning of the Biodiversity Gain Requirements (Irreplaceable Habitats) Regulations 2024) there are additional requirements for the content and approval of Biodiversity Gain Plans. Advice about how to prepare a Biodiversity Gain Plan and a template can be found at <https://www.gov.uk/guidance/submit-a-biodiversitygain-plan>

Information on how to discharge the biodiversity gain condition can be found here: <https://www.cotswold.gov.uk/planning-and-building/wildlife-and-biodiversity/biodiversity-netgain-bng/>

Cotswold District Council's Precautionary Method of Working document can be found here: <https://www.cotswold.gov.uk/planning-and-building/wildlife-and-biodiversity/biodiversityspecifications/>

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DEVELOPMENT SERVICES – CONSERVATION RESPONSE FORM

To:	Amy Hill.	Date:	20 th of November 2025.
Ref:	25/02175/FUL		
Address:	Southrop Estate Office, Southrop, Gloucestershire.		
Proposal:	Erection of three new structured and associated landscaping to provide additional spa facilities and hotel accommodation.		

Further comments:

Principle.

Setting of nearby listed buildings.

The application site lies adjacent to the *Southrop Lodge* (listed as ‘*The Lodge*’, formerly the *Vicarage*) and the ‘*Barn approximately 30 metres to south east of Newmans House*’, both of which are grade II listed buildings. It is also within reasonably close proximity to *Newman’s House* (grade II), which lies to the north-west of the site; other listed buildings stand within the wider context, such as the *Swan Inn & Laurel Cottage* to the north, on the further side of Lechlade Road, as well as the listed *Cons shed at Manor Farm*, further to the east.



1876-81, 1:25" Ordnance Survey map. Application site highlighted red; conservation area highlighted green; *Southrop Lodge* encircled orange; *Barn* encircled Blue; *Newman’s House* encircled in purple; other listed buildings encircled in yellow.

Southrop Lodge, to the north-east of the site, is a high-status, early-19th century Vicarage, with a defined garden to the south, which runs down the east side of the application site. The

house itself it at some distance from the site, with limited intervisibility, particularly due to a linear range of intervening outbuildings.

The *Barn* lies to the west of the site, from which it is separated by a further outbuilding; the site of the barn also fronts the open countryside to the south.

Historic map regression depicts an orchard to the south of the garden of *Southrop Lodge*; the configuration of the surrounding screening planting, and the arrangement of paths and access indicates that it formed a part of the wider gardens of the Lodge. The paddock to the west of this, which included the application site, is clearly divided from the orchard, and has no indication of any garden use, suggesting a paddock or utilitarian space; however, this paddock is clearly enclosed by the same curved boundary that enclosed the orchard, strongly indicating that its use was associated with, and within the historic curtilage of *Southrop Lodge*, rather than forming a part of the wider, more open agricultural landscape to the south.

Historic England's Historic Environment Good Practice Advice in Planning: Note 3 advises on the setting of heritage assets, and identifies aspects of setting that can contribute to significance. It lays out a methodology to assess this, including:

1. *Which heritage assets and their settings are affected;*
2. *Assess the degree to which these settings make a contribution to the significance of the heritage asset(s) or allow significance to be appreciated;*
3. *Assess the effects of the proposed development, whether beneficial or harmful, on that significance or on the ability to appreciate it;*
4. *Explore ways to maximise enhancement and avoid or minimise harm.*

The document also clarifies that change to setting is not in itself intrinsically harmful; rather that there has to be harm to an aspect of the setting that contributes towards the asset's significance, in order for a change to be considered harmful.

Whilst the application site appears to have been historically associated with *Southrop Lodge*, as it still is, it does not appear to have formed a part of the designed pleasure grounds, or even the orchard. Visibility was screened by the historic outbuilding. Consequently, the contribution that the application site makes to the setting and significance of *Southrop Lodge* is modest, and relates more to functional association and its location within the clearly defined, curved enclosure.

The proposed development would maintain a functional association with *Southrop Lodge*, but there would be little direct inter-visibility. The design of the development is low-key, and intended to reflect the more broken, modest levels of quasi-agricultural outbuildings that are characteristic of edge-of-settlement sites, along with some discrete, green-roofed contemporary structures. Consequently, it is not considered that the proposed development would cause any harm to the setting or significance of *Southrop Lodge*.

The *Barn* which lies to the west comprised a functional, agricultural building, which would not have had any form of aesthetically-designed setting. It lay on an edge-of-settlement site, with other structures to the north, east and west, but which bounded the open countryside to the south. The application site, lies to the east, beyond an intervening outbuilding. The application site consequently contributes to the setting and significance only insofar as it forms part of the general, edge-of-settlement character of the surroundings.

The proposed development of quasi-agricultural, edge-of-settlement style, and discrete, low, green-roofed contemporary buildings, set to the east beyond a further outbuilding, would leave the *Barn* still with edge-of-settlement development around three sides, and a southern frontage to the open countryside to the south. Consequently, it is not considered that the proposed development would cause any harm to the setting or significance of the *Barn*.

Newman's House comprises a 17th and 18th century house of some status, with a formal frontage onto the road, and a rear wing in a long rear garden. To the rear of the garden of *Newman's House* is the existing swimming-pool building associated with Southrop Lodge, a low, flat-roofed building with a green roof; the application site lies to the south of this, with little shared boundary with *Newman's House*. There is little direct intervisibility between Newman's House and the application site; the only contribution that the site makes to the setting and significance of *Newman's House* is limited to the general, edge-of-settlement character of the area. The proposed development, by virtue of its design, low density, and low scale, would have little impact upon Newman's House, and consequently it is not considered that the proposed development would cause any harm to the setting or significance of *Newman's House*.

The other listed buildings within this part of the village are at greater distance to the site, which contributes little to their setting or significance, and consequently it is not considered that the proposed development would cause any harm to their setting or significance.

Conservation area.

The application site lies within the designated conservation, the boundary of which follows the original, curved boundary to the south of *Southrop Lodge*. The application site is a not unattractive open space, which appears to have been associated with, and within the historic curtilage of *Southrop Lodge*, rather than part of the wider agricultural landscape, albeit it a functional rather than an aesthetic capacity. The general character of the immediate context is very much edge-of-settlement, with former farm buildings to the west, and the designed pleasure grounds and orchard of *Southrop Lodge* to the east. The site does not appear to have been intentionally, aesthetically designed, and does not contribute to any significant views and is not widely visible. The site contributes to the historic value, character and appearance of the conservation area primarily as a space that appears to have been associated with *Southrop Lodge*, and an integral part of the transitional, edge-of-settlement area. The site is of some aesthetic value (fortuitous rather than designed) as an open space; but as it is not widely visible with no significant view, it is not an important open space, and as such, makes a very limited contribution to the character and appearance of the wider conservation area, other than simply forming a part of the general, edge-of-settlement transition between the village and the surrounding countryside.

The proposed development of the site with low-density, sympathetically-designed buildings that are intended to either resemble ancillary outbuildings appropriate to a quasi-agricultural, edge-of-settlement site, and discrete contemporary buildings beneath low, green roofs, would reflect and sustain the traditional, edge-of-settlement character of the context, and the association with *Southrop Lodge* would also be sustained. The loss of the open paddock itself would entail some very limited loss of aesthetic (fortuitous) value, although the wider impact upon the character, appearance and significance of the conservation area would be negligible. Therefore, there may, potentially, be some harm, but this would, at most, be of a very limited nature, and at the extreme bottom of the less-than-substantial spectrum. Any such harm should be weighed against any public benefits that would accrue from the proposal in accordance with Paragraph 215 of the N.P.P.F.

Design.

The latest set of revised drawings do accurately reflect my discussions with the architect, and I am now content that they are appropriate, and would cause no harm to either the setting or significance of the nearby listed buildings, or the character, appearance or significance of the surrounding conservation area.

Recommendation:

Permit (subject to satisfying the planning balance that there is sufficient public benefit to outweigh the at most very slight, less-than-substantial harm).

Suggested conditions:

- Samples of all materials.
- Sample panel of the stone & pointing.
- Details of all external doors and windows.
- Large-scale details of eaves & makeup of flat, green roofs.

From:

J.A.

Location Plan

Site Address: Thyme - Southrop Estates Ltd, Southrop Estate Office, Southrop Estate, Road From Lechlade Road To Great Lemhill, Southrop, GL7 3PW

Date Produced: 11-Jul-2025

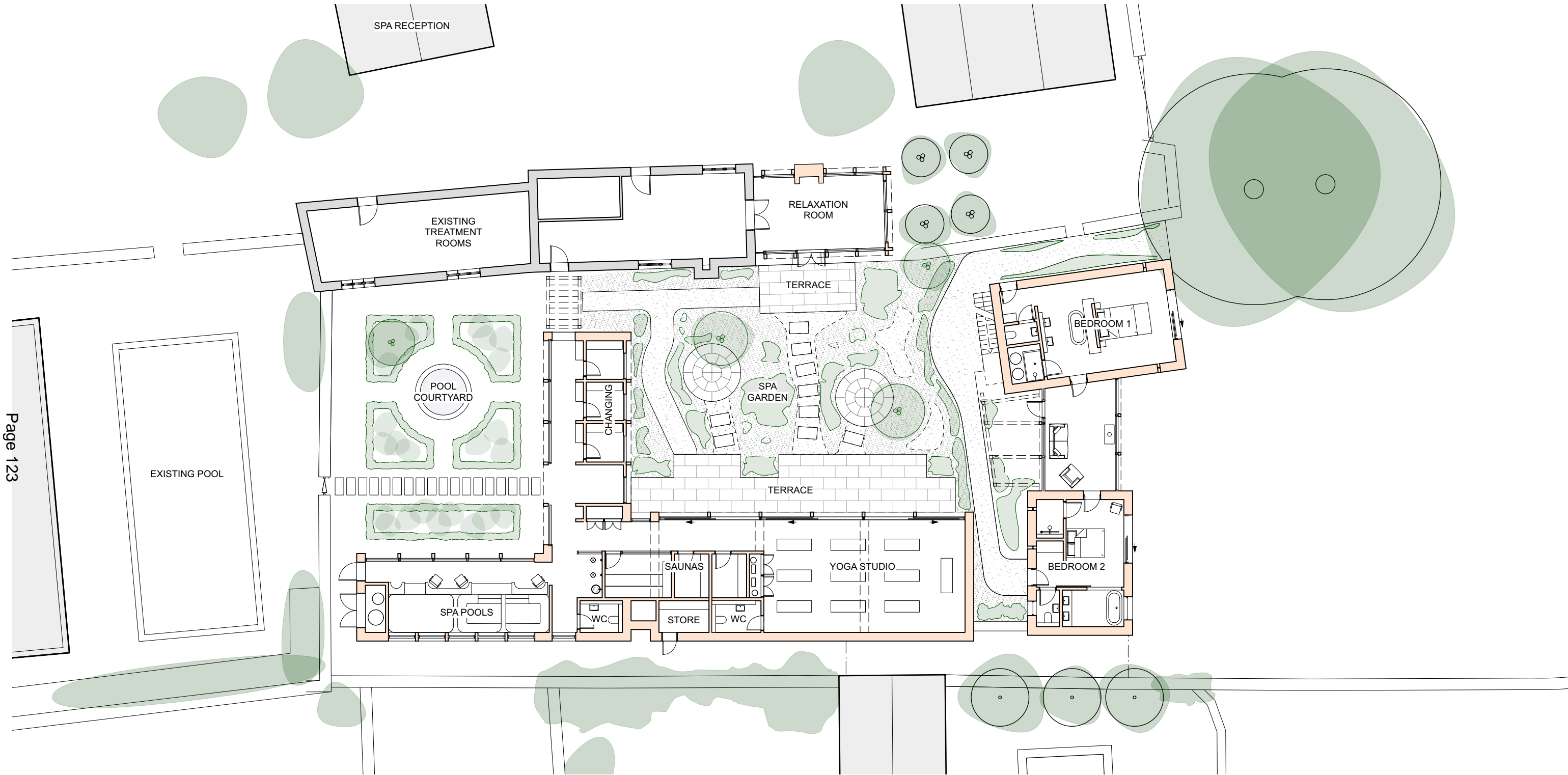
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Planning Portal Reference: PP-14165109v1

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Metres

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1

Proposed Site Plan

Scale: 1:200

TAW FITZWILLIAM

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Note:

All levels and dimensions to be site surveyed and confirmed by the contractor. Any discrepancies are to be reported to the Architect. See also architectural details, mechanical and electrical intent layout and structural engineers drawings and specifications. Door and windows manufacturer to produce shop drawings for comment before manufacture. All details are intent only, to be finalised by the contractor. Drawings subject to statutory approvals.

Revision

P4	07.11.25	Internal sauna and plant space reconfigured. Garden wall added between bedroom 2 and yoga studio. Plant cupboard added to north end of spa building.
P3	01.10.25	External staircase and bedroom 1 entrance updated
P2	01.09.25	Planning update
P1	01.07.25	Planning issue



Thyme Spa Buildings

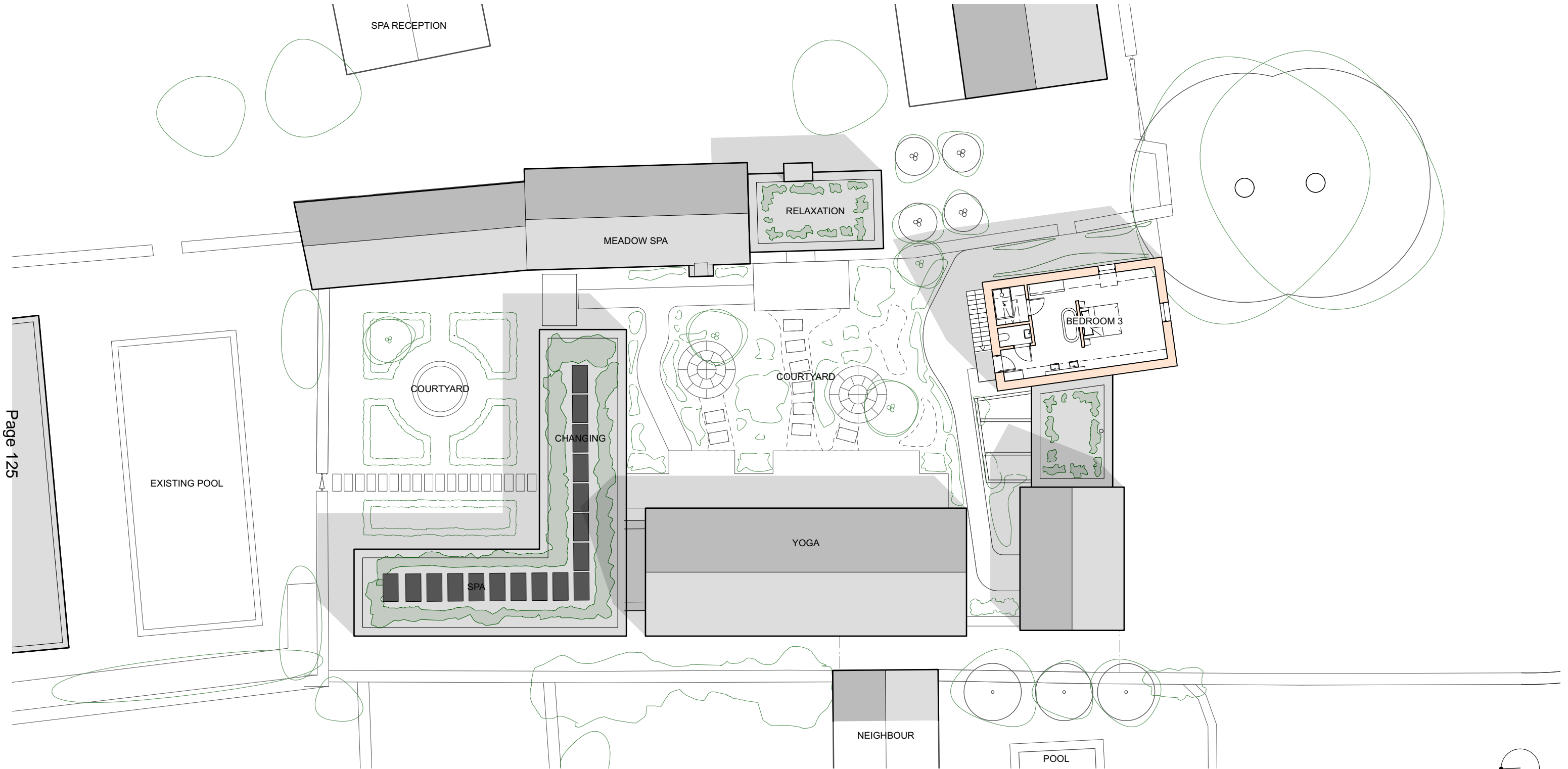
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Proposed Site Plan

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1

Proposed Site 1F Plan
Scale: 1:200

0m 5m 10m

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Revision

P4	07.11.25	Plant cupboard added to north end of spa building.
P3	01.10.25	External staircase and bedroom 3 entrance updated
P2	01.09.25	Planning update
P1	01.07.25	Planning issue

Thyme Spa Buildings

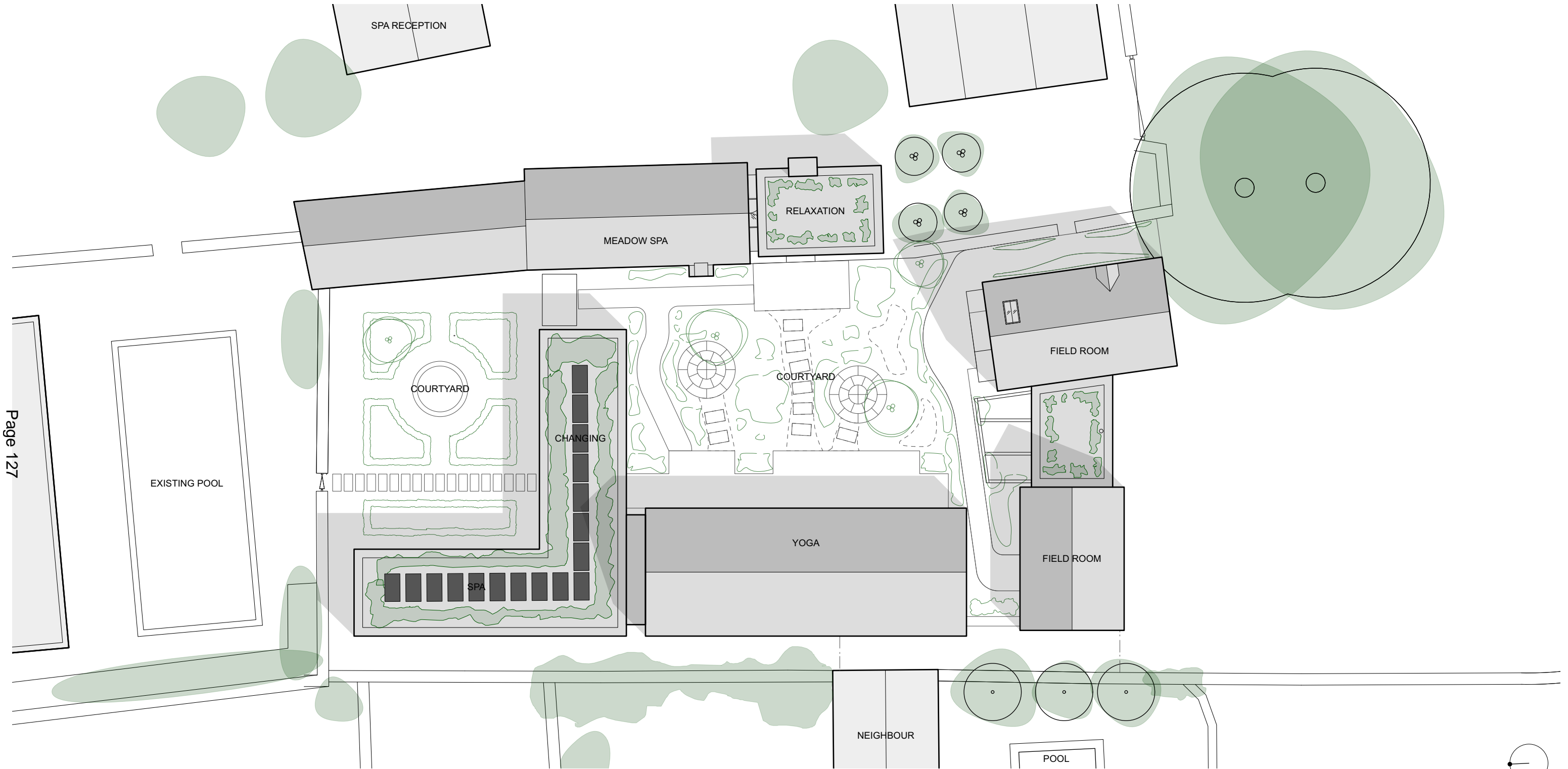
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Proposed 1F Site Plan

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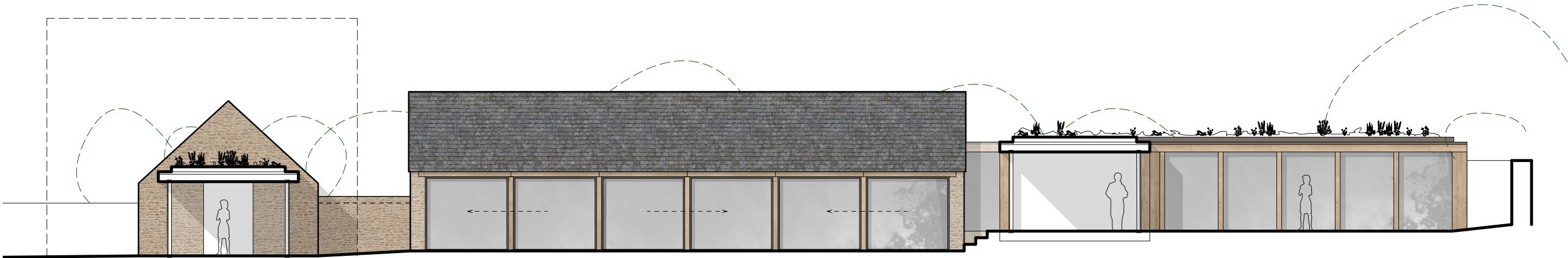


1 Proposed Site Roof Plan
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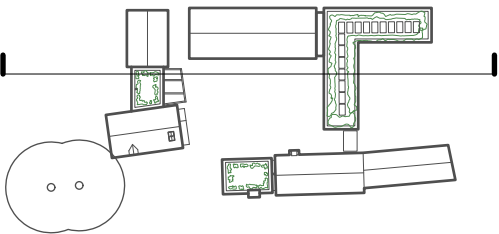
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Revision		
P4	07.11.25	Plant cupboard added to north end of spa building.
P3	01.10.25	External staircase and bedroom 3 rooflight updated
P2	01.09.25	Planning update
P1	01.07.25	Planning issue

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1 Longitudinal Site Section
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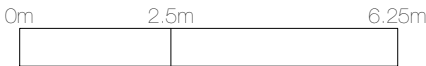


Note:

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Revision

P3	07.11.25	Garden wall added between bedroom 2 and yoga studio. Plant cupboard added to north end of spa building
P2	01.09.25	Planning update
P1	01.07.25	Planning issue



Thyme Spa Buildings

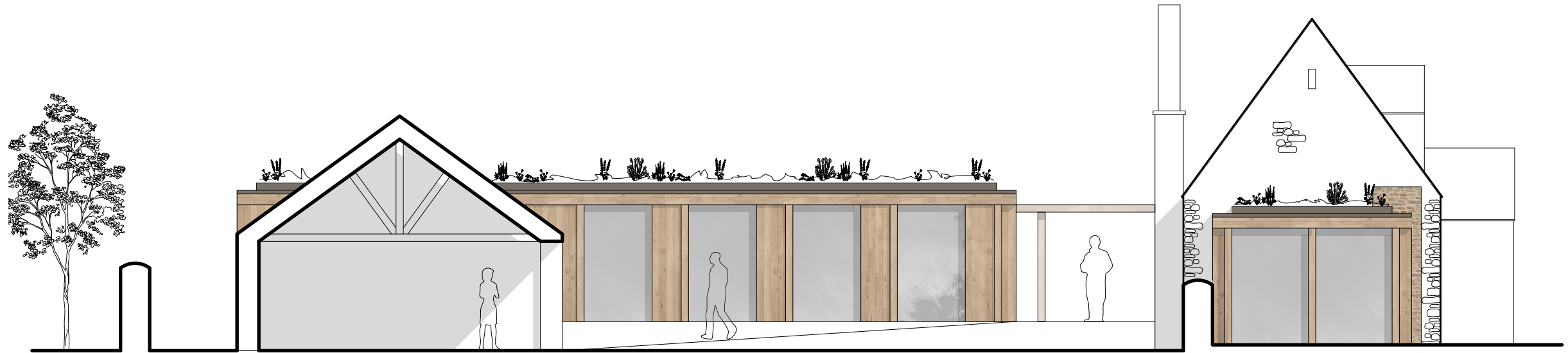
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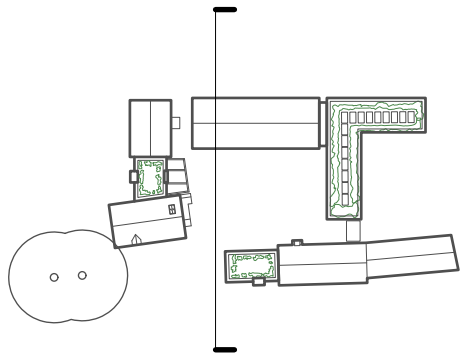
Proposed Long Section

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1 Site Cross Section
Scale: 1:100



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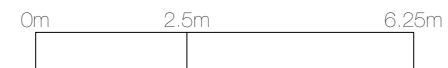
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Revision

P2	01.09.25	Planning update
P1	01.07.25	Planning issue



Thyme Spa Buildings

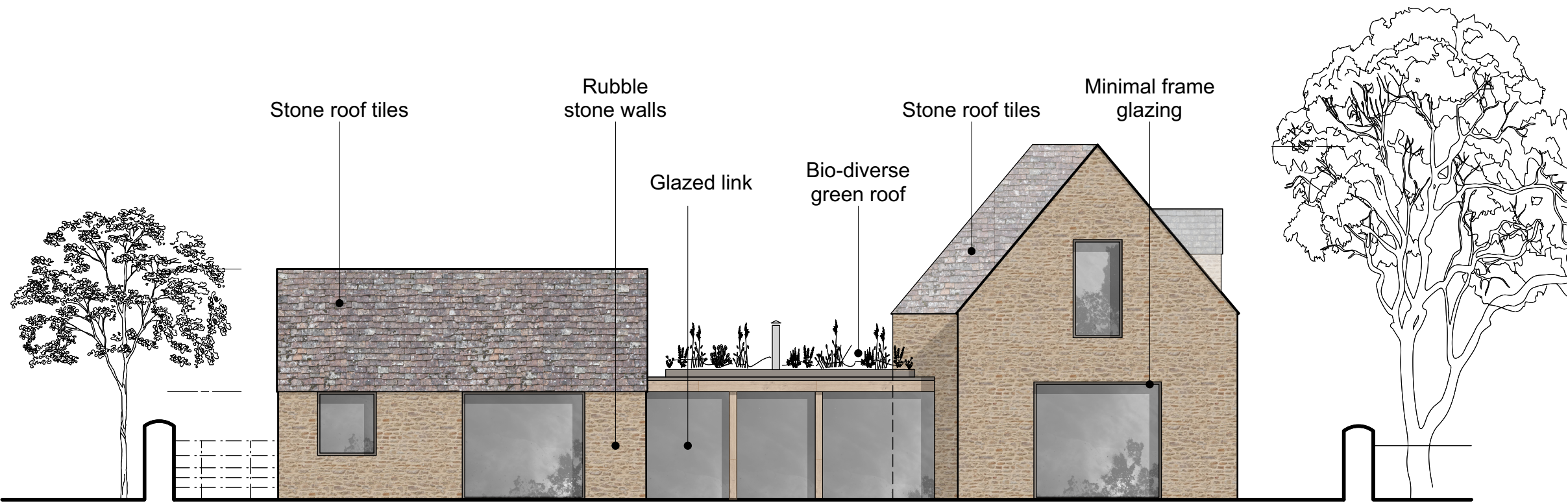
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Proposed Site Cross Section

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1 Bedroom 1, 2 & 3 South Elevation
Scale: 1:100

Note:

All levels and dimensions to be site surveyed and confirmed by the contractor. Any discrepancies are to be reported to the Architect. See also architectural details, mechanical and electrical intent layout and structural engineers drawings and specifications. Door and windows manufacturer to produce shop drawings for comment before manufacture. All details are intent only, to be finalised by the contractor. Drawings subject to statutory approvals.

Revision

P3	18.12.25	Elevation updated to show dormer
P2	01.09.25	Planning update
P1	01.07.25	Planning issue



Thyme Spa Buildings

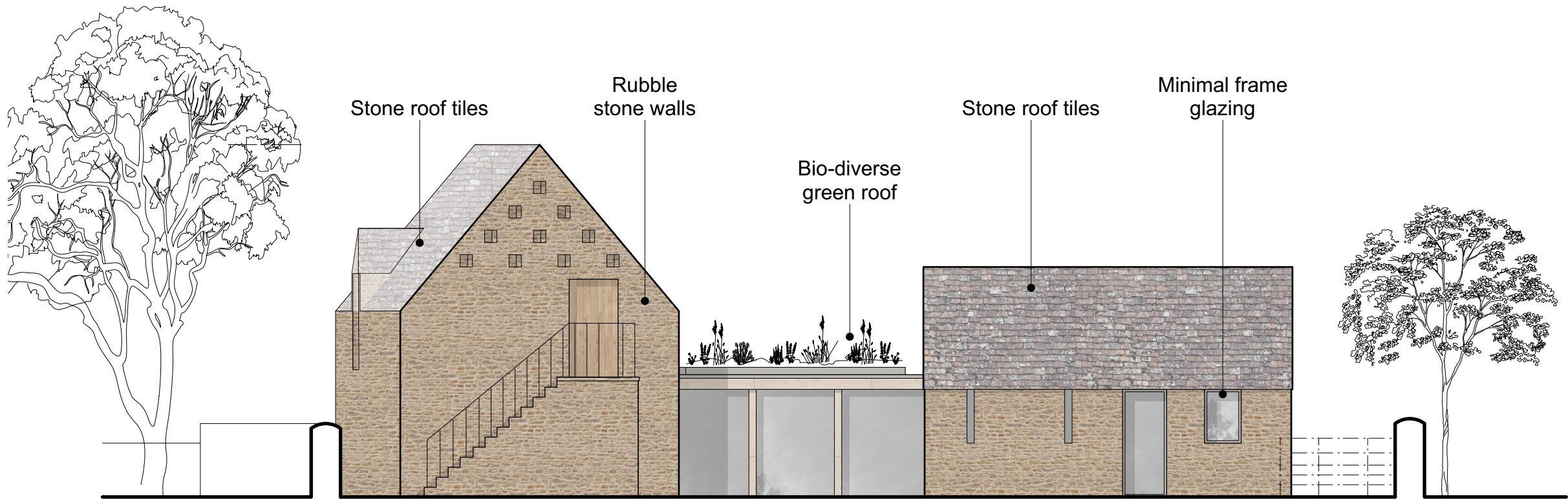
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Proposed South Elevation
Bedroom 1, 2, and 3

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1 Bedroom 1, 2 & 3 North Elevation
Scale: 1:100

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Note:

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Revision

P4	18.12.25	Elevation updated to show dormer
P3	01.10.25	External staircase and 1F entrance updated
P2	01.09.25	Planning update
P1	01.07.25	Planning issue

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Thyme Spa Buildings

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Proposed North Elevation
Bedroom 1, 2, and 3

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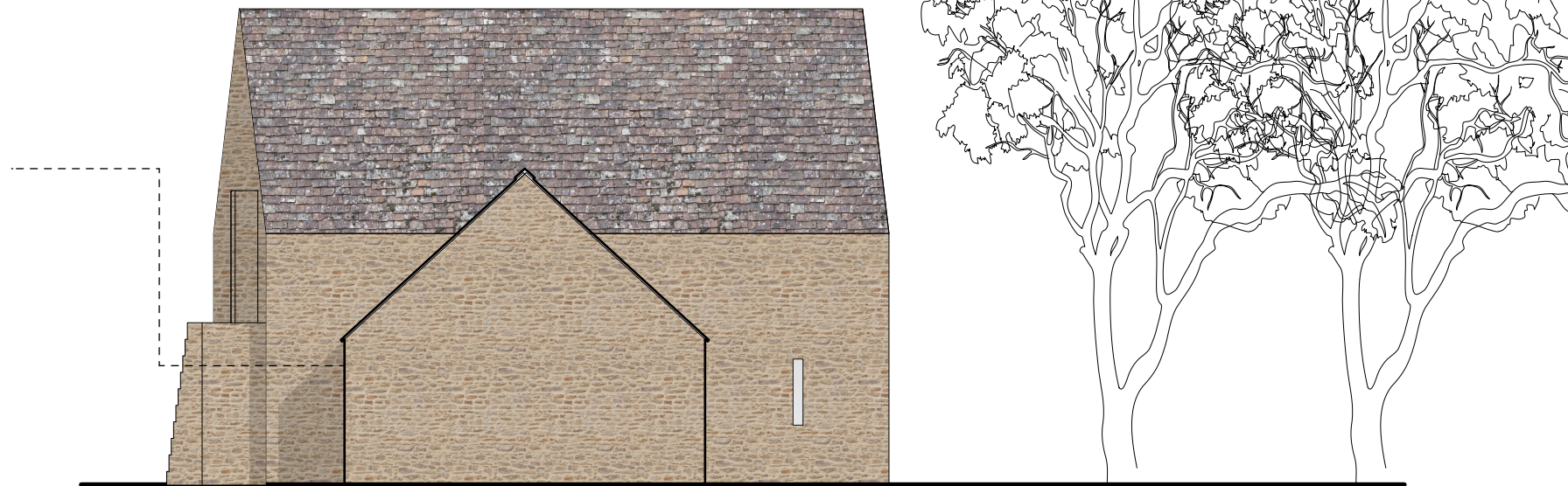
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1 Bedrooms 1, 2 & 3 Gable Elevation
Scale: 1:100



2 Bedrooms 1, 2 & 3 East Elevation
Scale: 1:100



3 Bedrooms 1, 2 & West Elevation
Scale: 1:100



Note:

All levels and dimensions to be site surveyed and confirmed by the contractor. Any discrepancies are to be reported to the Architect. See also architectural details, mechanical and electrical intent layout and structural engineers drawings and specifications. Door and windows manufacturer to produce shop drawings for comment before manufacture. All details are intent only, to be finalised by the contractor. Drawings subject to statutory approvals.

Revision

P5	18.12.25	Dormer shown on gable elevation
P4	07.11.25	High-level arrow slot window omitted from bedroom 2 west elevation
P3	01.10.25	External staircase, bedroom 1 entrance, dormer and rooflight updated
P2	01.09.25	Planning update
P1	01.07.25	Planning issue

Thyme Spa Buildings

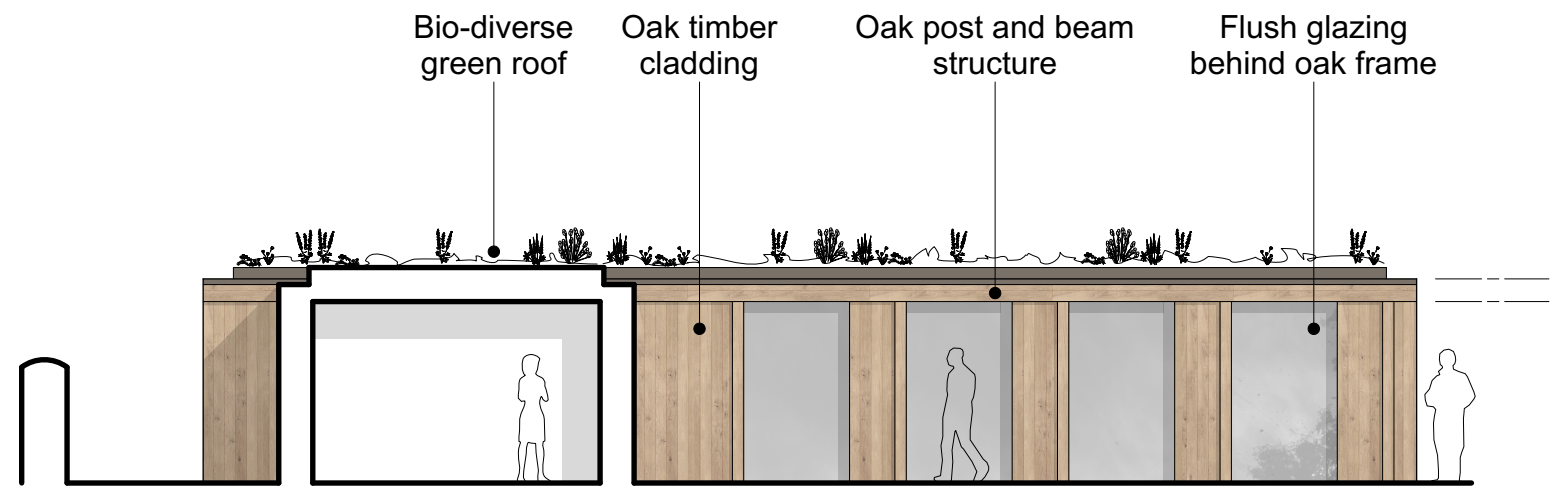
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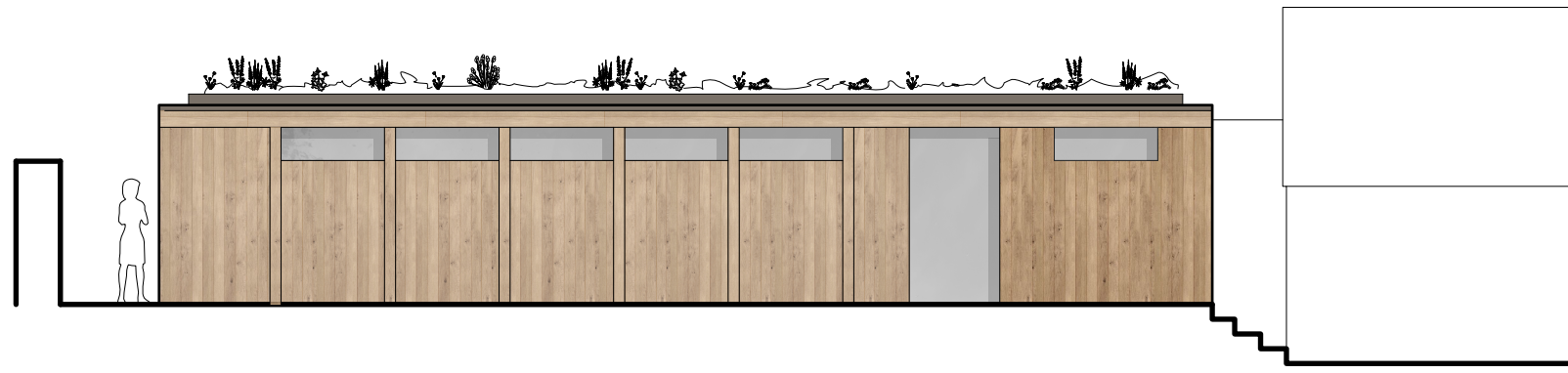
Proposed Elevations
Bedrooms 1, 2, and 3

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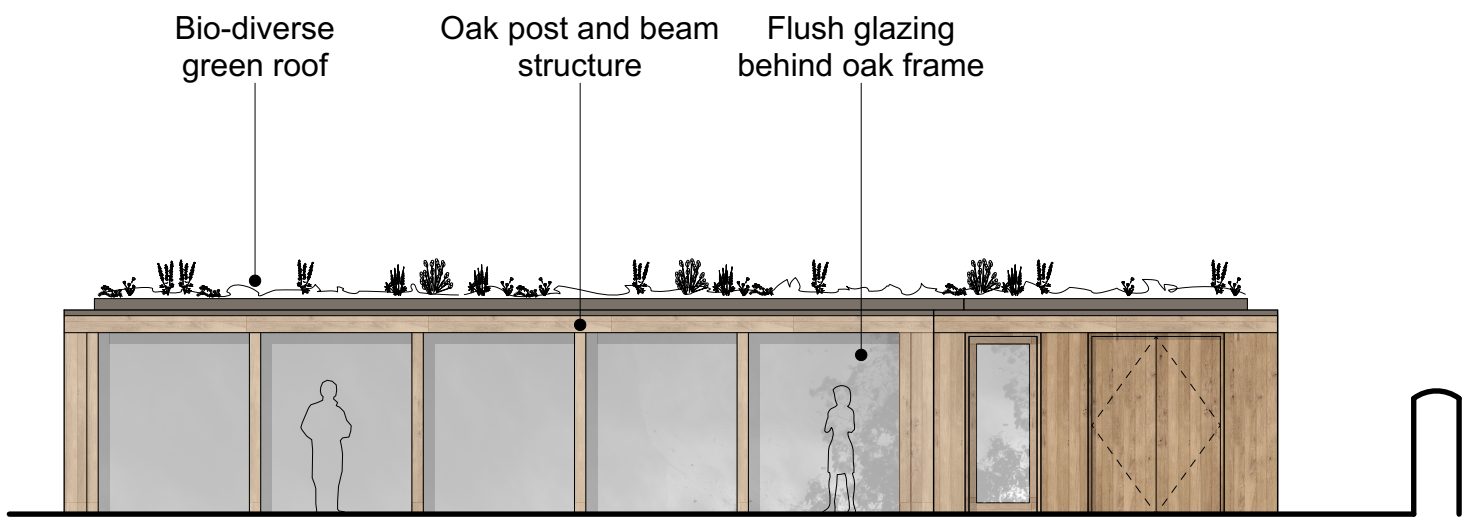


1 Spa South Elevation
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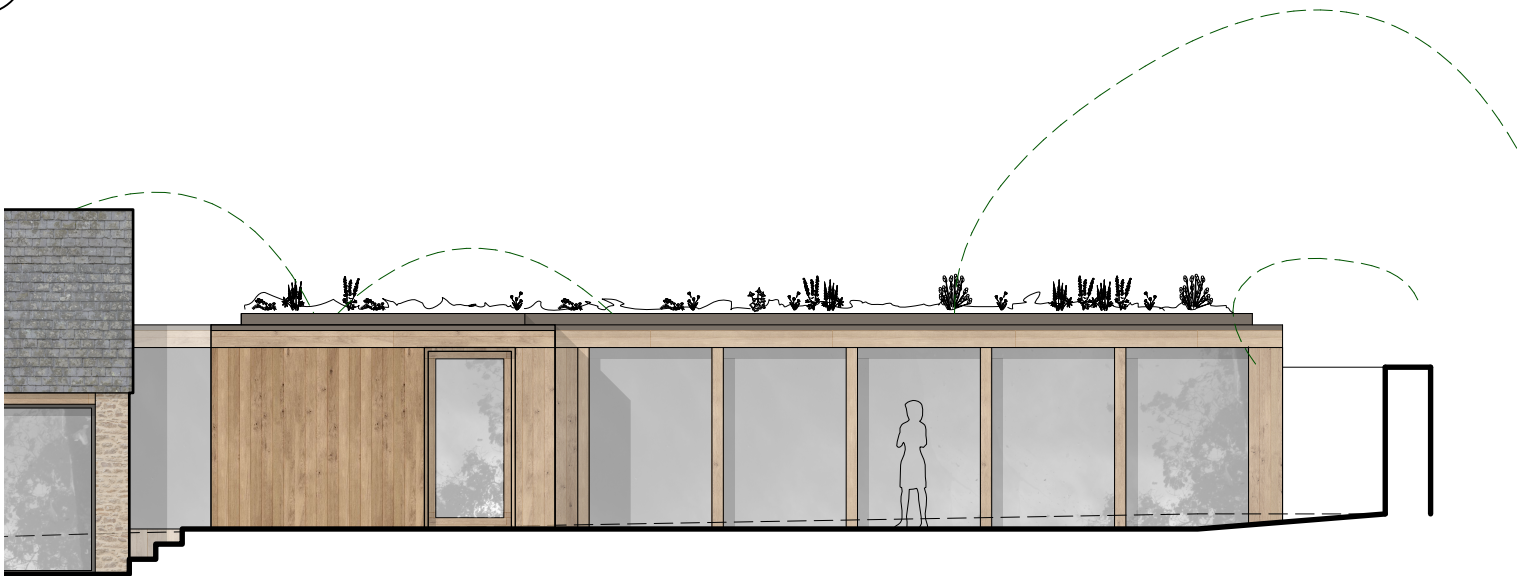


2 Spa West Elevation
Scale: 1:100

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1 **Spa North Elevation**
Scale: 1:100



2 **Spa East Elevation**
Scale: 1:100

Note:

All levels and dimensions to be site surveyed and confirmed by the contractor. Any discrepancies are to be reported to the Architect. See also architectural details, mechanical and electrical intent layout and structural engineers drawings and specifications. Door and windows manufacturer to produce shop drawings for comment before manufacture. All details are intent only, to be finalised by the contractor. Drawings subject to statutory approvals.

Revision

P3	07.11.25	Plant cupboard added to north end of spa building
P2	01.09.25	Planning update
P1	01.07.25	Planning issue



Thyme Spa Buildings

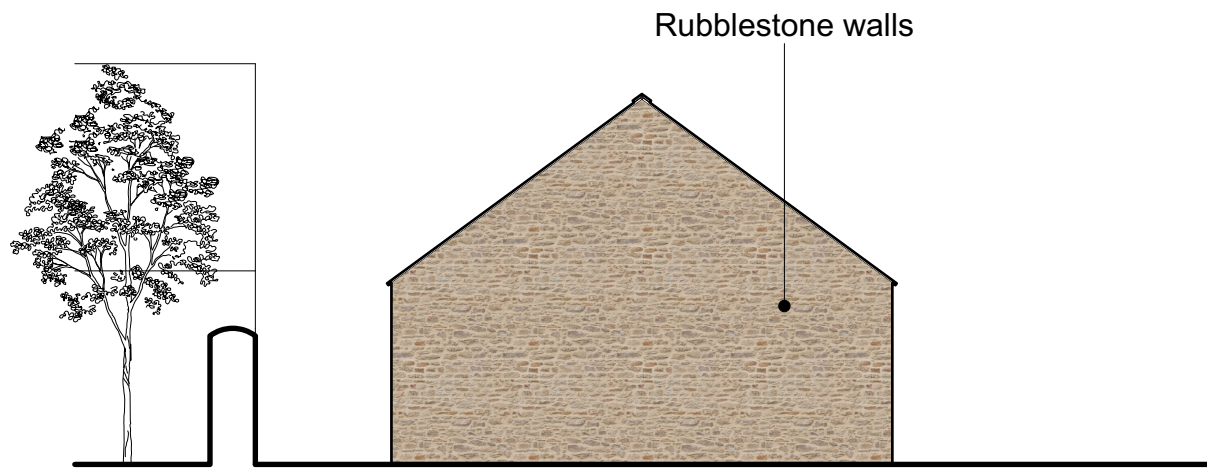
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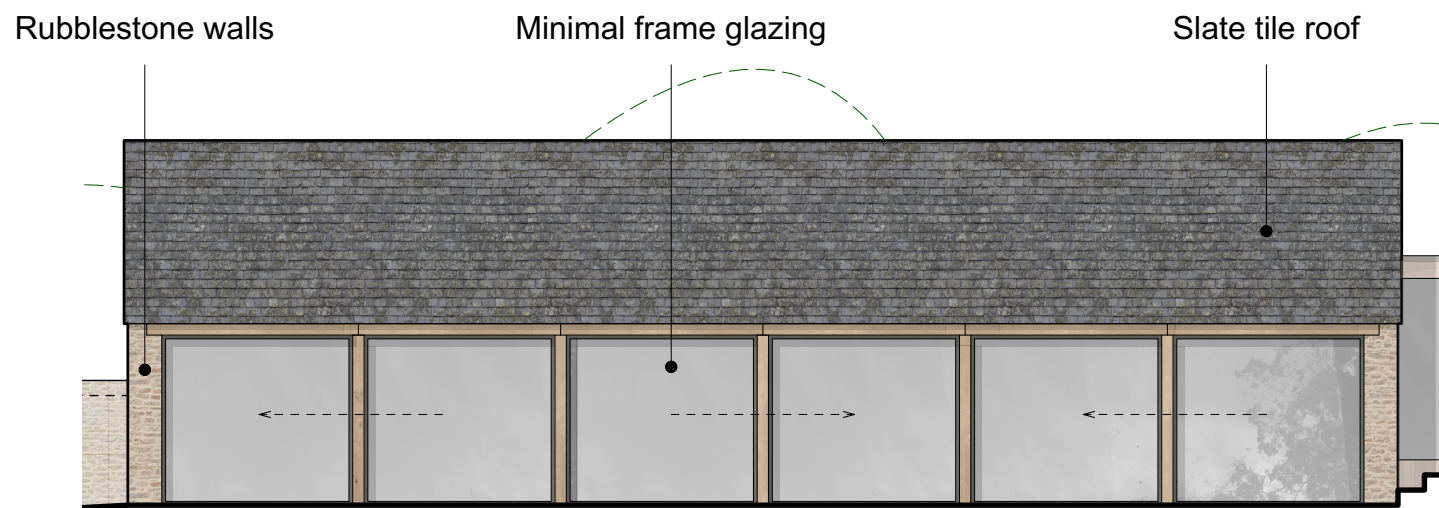
Proposed Elevations
Spa

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1 Wellbeing Studio South Elevation
Scale: 1:100



2 Wellbeing Studio East Elevation
Scale: 1:100

Note:

All levels and dimensions to be site surveyed and confirmed by the contractor. Any discrepancies are to be reported to the Architect. See also architectural details, mechanical and electrical intent layout and structural engineers drawings and specifications. Door and windows manufacturer to produce shop drawings for comment before manufacture. All details are intent only, to be finalised by the contractor. Drawings subject to statutory approvals.

Revision

P3	01.10.25	Yoga studio lintel detail updated
P2	01.09.25	Planning update
P1	01.07.25	Planning issue



Thyme Spa Buildings

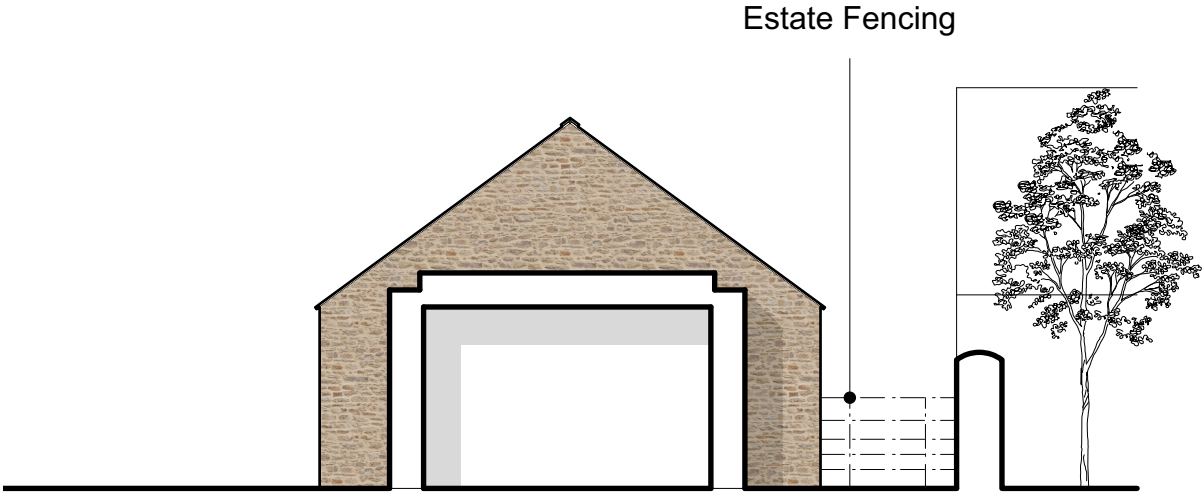
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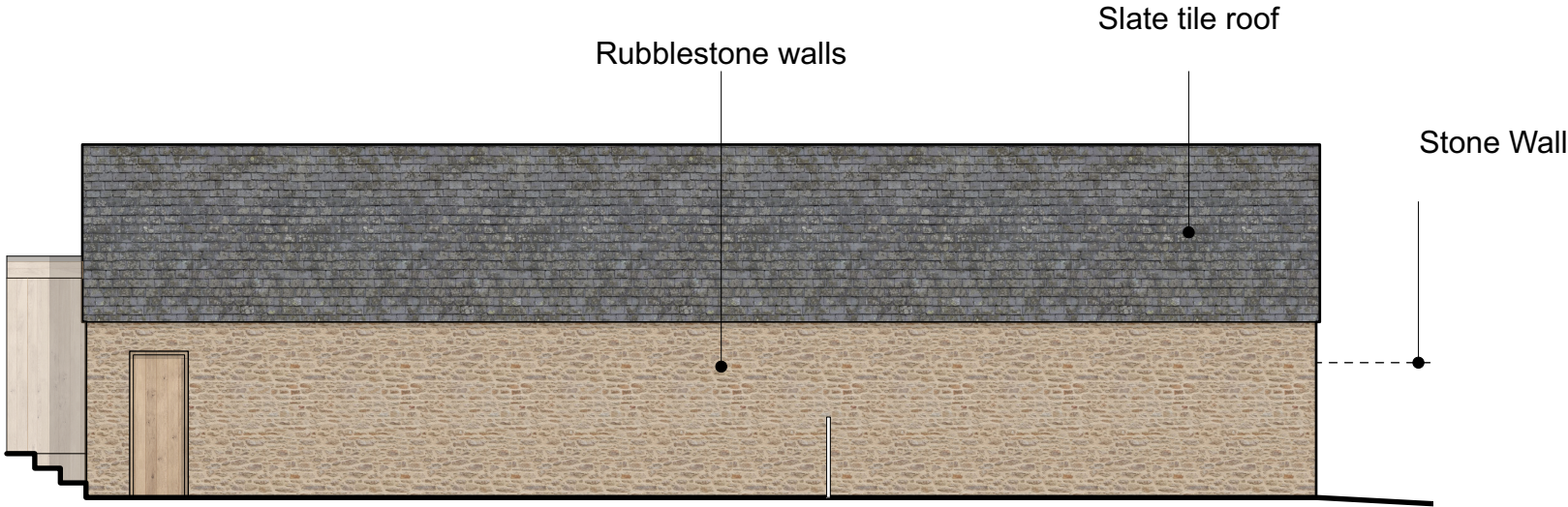
Proposed Elevations
Wellbeing Studio

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1 **Wellbeing Studio North Elevation**
Scale: 1:100



2 **Wellbeing Studio West Elevation**
Scale: 1:100

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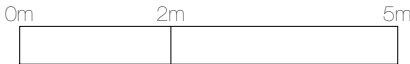
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Revision

P3	07.11.25	Garden wall added to end of wellbeing studio. Estate Fencing added to rear of wellbeing studio.
P2	01.09.25	Planning update
P1	01.07.25	Planning issue



Thyme Spa Buildings

Thyme
Southrop
Lechlade
GL7 3NX

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Proposed Elevations
Wellbeing Studio

1:100 @ A3

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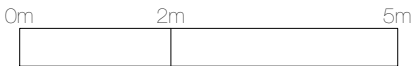
1 **Relaxation Room West Elevation**
Scale: 1:100

Note:

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Revision

P2	01.09.25	Listed Building Consent Issue
P1	01.07.25	Planning issue



Thyme Spa Buildings

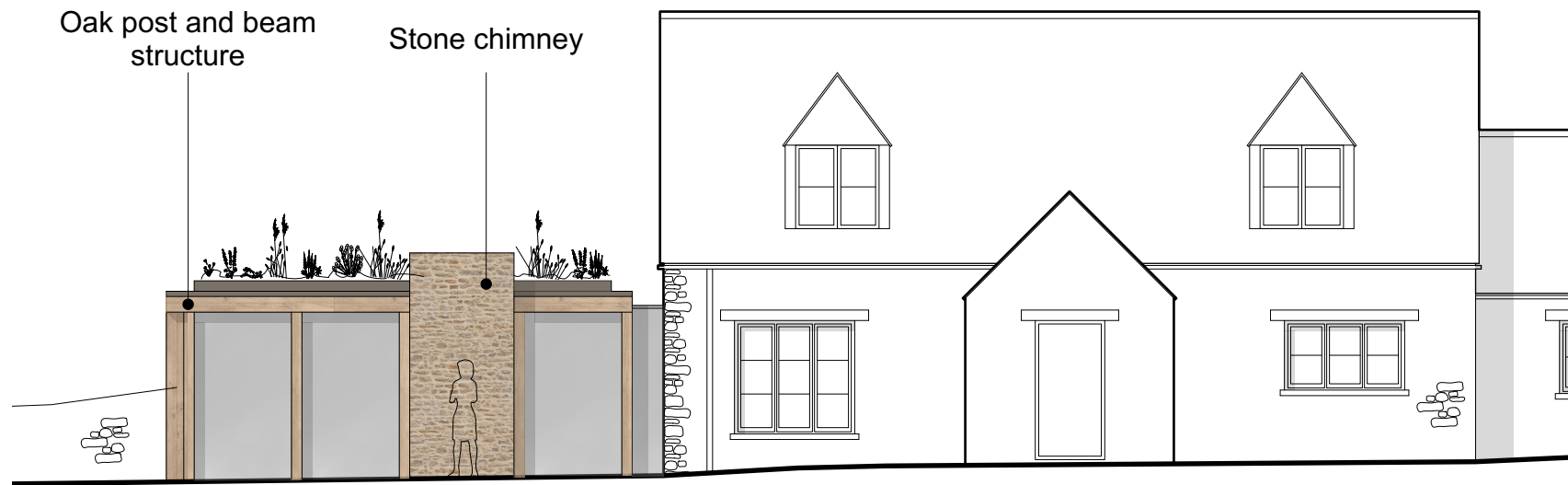
Thyme
Southrop
Lechlade
GL7 3NX

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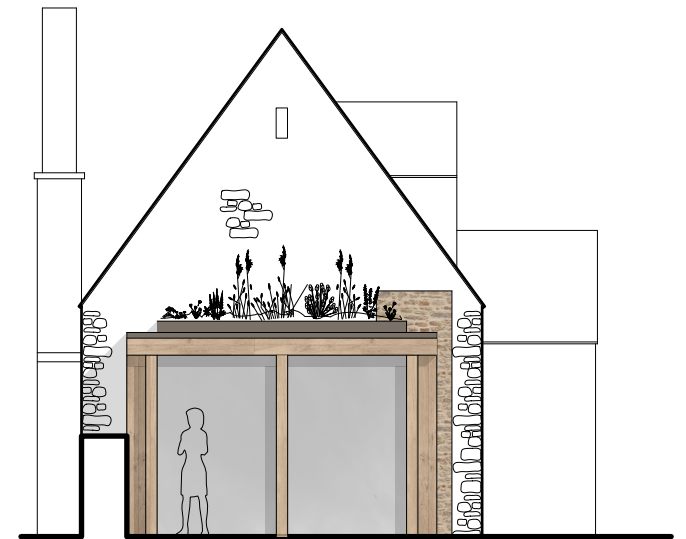
Proposed Elevations
Greenhouse west

1:100 @ A3

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1 Relaxation Room East Elevation
Scale: 1:100



2 Relaxation Room South Elevation
Scale: 1:100

Note:

All levels and dimensions to be site surveyed and confirmed by the contractor. Any discrepancies are to be reported to the Architect. See also architectural details, mechanical and electrical intent layout and structural engineers drawings and specifications. Door and windows manufacturer to produce shop drawings for comment before manufacture. All details are intent only, to be finalised by the contractor. Drawings subject to statutory approvals.

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Thyme Spa Buildings

Thyme
Southrop
Lechlade
GL7 3NX

048_03_308

Proposed Elevations
Greenhouse East and South

1:100 @ A3

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Erection of glazed extension to curtilage listed building at Thyme - Southrop Estate Office Southrop Estate Southrop Lechlade Gloucestershire GL7 3PW

Listed Building Consent 25/02722/LBC	
Applicant:	Southrop Estates Ltd
Agent:	Taw Fitzwilliam
Case Officer:	Amy Hill
Ward Member(s):	Councillor David Fowles
Committee Date:	14 January 2026
RECOMMENDATION:	PERMIT

UPDATE: This application was deferred at the 10 December 2025 Planning and Licensing Committee Meeting to allow for a Sites Inspection Briefing. The purpose of the S.I.B. was to assist Members in their consideration of the application with regard to the complexity of the site (*sensitive location - Conservation Area, Cotswolds National Landscape and affect on listed buildings*)

1. Main Issues:

- (a) Design and Impact on Heritage Assets

2. Reasons for Referral:

- 2.1 Cllr Fowles requested that the full planning application be considered by the Review Panel for referral to the Planning & Licensing Committee, for the following reason(s):

2.1.1 This site has a long history of applications from when it first started trading as a cookery school and in addition to developing the current business, the pub has been bought and a number of other residential properties have also been acquired. The business has very little engagement with the village either by virtue of generating local employment or providing locals with a leisure amenity. Indeed the applicant has stated that the key reason for wanting to develop the spa is so Thyme can compete at the very top of the leisure and hotel sector

2.1.2 There is real concern that historic applications that were granted consent have not had the conditions properly complied with ie 19/04203/FUL and 17/01018/FUL. I believe that the enforcement team need to look into these two applications

2.1.3 In particular there is a real highway safety issue in Southrop as a result of the opening of the overflow car park which is now the only operational car park. The impact on the village is not anecdotal but can be measured via the recently introduced speed cameras

2.1.4 The proposed development will have a dramatic effect on the conservation area and the surrounding listed buildings. It will be visible from the road and footpaths.

2.1.5 There is concern about noise and light pollution, in particular the plant room which is located right on the boundary of a neighbour's property. In addition three more bedrooms are proposed very close to a neighbouring property. This is not a business which shuts at 5.30pm. It operates 24/7.

2.1.6 Finally, whilst everyone understands that this application should be judged on its merits, it is not unreasonable to assume that further applications will be made

- 2.2 The associated listed building consent application was bought before the review panel for completeness.
- 2.3 The Review panel agreed the request for the application to be considered at the Planning and Licensing Committee, as it was necessary to consider and balance the potential harm to the Conservation Area and surrounding listed buildings, and the potential amenity impacts upon the neighbouring residents, as required by local and national policy.

3. Site Description:

- 3.1 The wider site comprises Thyme, a collection of converted and extended agricultural buildings which form a hotel, spa and restaurant. The site is located within the village of Southrop, with access to Thyme via a road which also serves Southrop Manor and St Peters Church. It has a second main entrance with parking area to the south east of the village.
- 3.2 The converted agricultural buildings are Grade II listed and lie adjacent to the Grade I listed St Peters Church, with Southrop Manor, a Grade II* listed building beyond.
- 3.3 To the west of the aforementioned buildings, Thyme has incorporated other buildings, mostly used as accommodation. To the northeast of this is Southrop Lodge, a grade II listed building (listed as The Lodge), also run by Thyme.

- 3.4 The site which is subject to this application comprises land to the south of Stable Cottage (curtilage listed) and the area of land to the western side of it. There is an outdoor swimming pool and associated outbuilding to the north. To the west of the site, outside the boundaries of Thyme is another Grade II listed barn (currently known as The Dovecote) and the Grade II listed Newmans House.
- 3.5 A Public Right of Way (Southrop Footpath 7) bisects Thyme through its courtyard, separating the main historic barns from the application site. This continues to the south of the site through open fields. Additionally, Southrop Footpaths 8 and 9 run through the field to the south of the application site.
- 3.6 The site is located within the Southrop Conservation Area and Cotswolds National Landscape.

4. Relevant Planning History:

- 4.1 There is extensive planning history on the wider site.
- 4.2 The main applications relating to the conversion of the farm buildings include:
- 4.3 15/04754/FUL - Change of use of the Granary, Ox Barn, Lambing Sheds and Pigsties, Haybarn and associated land from part agricultural, equestrian, D1, D2, and B1 use classes to a composite use comprising A3 (food and drink), C1 (hotel), D1 (treatment and wellbeing/lectures/courses) and D2 (social events) use classes. Replacement of former barns to provide guest bedrooms. Construction of treatment and wellbeing buildings and the change of use of equestrian riding arena and other land, part to include overflow car parking, associated landscaping and all other associated works - Permitted - 17.06.2016
- 4.4 17/01013/FUL - Restoration, repair and reuse of existing buildings, including works to the Granary, Ox Barn, Lambing Sheds and Pigsties, the conversion of the Hay Barn to form ancillary kitchen and staff areas, the rebuilding of former barns as guest bedrooms, the change of use of an equestrian riding arena and other land, part to include overflow car parking, the planting of an orchard, landscaping and all other associated works; including the change of use from part agricultural, equestrian, D1, D2, and B1 use classes to a composite use comprising A3, C1, D1 and D2 use classes (Amended Application) - Permitted - 04.05.2017

Southrop Lodge:

- 4.5 16/04027/FUL - Change of use from residential (C3 use) to a mixed residential/hotel (C3/C1 use) together with associated minor works and change of use and conversion of the Hay Barn to ancillary hotel areas (reception and ancillary offices - C1 use) - Permitted - 25.11.2016
- 4.6 17/01018/FUL - Change of use of Southrop Lodge from residential (C3 use) to a mixed residential/hotel (C3/C1 use) together with associated minor works and structures [Amended Scheme] - Permitted - 04.05.2017
- 4.7 It is noted that the site is located within the red line boundary on the site location plan for the above application.

5. Planning Policies:

- TNPPF The National Planning Policy Framework

6. Observations of Consultees:

- 6.1 Conservation Officer: 2nd October 2025: No objections
- 6.2 Biodiversity Officer: No objections
- 6.3 Flood Risk Management Officer: Additional information or pre-commencement condition sought

7. View of Town/Parish Council:

- 7.1 None received directly on the Listed Building Consent application

8. Other Representations:

- 8.1 2 third party representations have been received, objecting to the application on the grounds of:
- i. Reiteration of concerns raised on the full planning application
 - ii. Proposal would harm Southrop's heritage, setting of listed buildings and Conservation Area
 - iii. Unsympathetic and overdevelopment
 - iv. Proposed designs not vernacular, unsympathetic and out of character
 - v. Proposal would harm Stable Cottage

8.2 4 third party representations have been received, supporting the application on the grounds of:

- i. Enhancement to existing facilities
- ii. Opportunities for local employment and local business to work in partnership
- iii. Approval of works previously undertaken
- iv. Need for continued investment
- v. Design
- vi. Impact on Conservation Area
- vii. Highways and parking (majority of traffic issues not caused by Thyme)
- viii. Advantage of having facilities in village

9. Applicant's Supporting Information:

- Heritage Statement, dated August 2025
- Biodiversity Self-Assessment Form, dated 18/07/2025

10. Officer's Assessment:

Background and Proposed Development

10.1 The proposal involves the erection of a single-storey extension to provide a relaxation room. The extension would be a heavily glazed green flat roofed structure. It would extend to the side of the cottage by approximately 7.2m with a depth of approximately 4.2m. The main roof would have a height of 2.9m, with a stone chimney extending to 3.2m.

(a) Design and Impact on Heritage Assets

10.2 Section 16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 states that when considering whether to grant listed building consent for development which affects a listed building or its setting, the Local Planning Authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

10.3 Considerable weight and importance must be given to the aforementioned legislation.

10.4 Section 12 of the NPPF seeks to achieve well designed places. Section 16 of the NPPF seeks to conserve and enhance the historic environment. Paragraph 212 states that when considering the impact of the proposed works on the

significance of a designated heritage asset, great weight should be given to the asset's conservation. Paragraph 213 states that any harm to or loss of significance, through alteration or development within the asset's setting should require clear and convincing justification. Paragraph 215 states that where proposals will cause harm to the significance of a designated heritage asset that is less than substantial harm, that harm is weighed against the public benefits of those works.

- 10.5 In addition to the above, it is noted that the Government published a draft version of the NPPF on the 16th December 2025. The consultation period for the aforementioned document expires on the 10th March 2026 and it is anticipated that a final version of the NPPF will be released in Spring 2026. Whilst the draft NPPF is a consultation document, it is considered that the proposed policies within it are a material consideration and must be given a degree of weight at the present time. Policies HE4, HE5, HE6 and HE9 in the draft NPPF address the impact of development within of designated heritage assets.
- 10.6 Further guidance is available within the Cotswold Design Code, the National Design Guide, and Historic England's Historic Environment Good Practice Advice in Planning: Note 3.
- 10.7 With regard to the setting of listed buildings, the site is considered to have former part of the wider garden area of Southrop Lodge. Whilst the proposal in linked to Stable Cottage, the design would result in the appearance of a distinct, albeit abutting garden structure, rather than an extension. This would include limited physical alterations of the cottage. The boundary wall would have an entrance added, and section rebuilt, however, the works would retain the form and significance as a boundary between Southrop Lodge and the field. Overall, the approach is considered sensitive to the curtilage listed building onto which it would be attached and the setting of The Lodge, and to therefore preserve the building and its setting. It is recommended that details, such as eaves, are agreed by condition.
- 10.8 The proposal is therefore considered to accord with the design and heritage considerations of Sections 12 and 16 of the NPPF.
- 10.9 The draft NPPF incorporates a greater level of detail on what would be expected from an assessment submitted with an application; however, given the conclusions drawn above, as well as the limited weight given to the policies of the draft NPPF at this time, the level of information submitted is considered

sufficient. The proposal is considered to generally accord with the policies of the draft NPPF.

11. Conclusion:

- 11.1 The proposal is considered to comply with the above considerations and as such is recommended for consent.

12. Proposed Conditions:

1. The development shall be started by 3 years from the date of this decision notice.

Reason: To comply with the requirements of Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2. Prior to the construction of any external wall of the development hereby approved, samples of the proposed walling, roofing and external paving materials shall be approved in writing by the Local Planning Authority and only the approved materials shall be used.

Reason: To ensure the development is completed in a manner sympathetic to the site and to safeguard the character of the building, which is listed as being of architectural or historic interest, thereby preserving the special architectural or historic interest which it possesses in accordance with Section 16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 and the National Planning Policy Framework.

3. Prior to the construction of any external wall of the development hereby approved, a sample panel(s) of walling of at least one metre square in size showing the proposed stone colour, coursing, bonding, treatment of corners, method of pointing and mix and colour of mortar (if applicable) shall be erected on the site and subsequently approved in writing by the Local Planning Authority and the walls shall be constructed only in the same way as the approved panel and shall be permanently retained as such thereafter. The panel shall be retained on site until the completion of the development.

Reason: To ensure the development is completed in a manner sympathetic to the site and to safeguard the character of the building, which is listed as being of architectural or historic interest, thereby preserving the special architectural or historic interest which it possesses in accordance with Section 16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 and the National Planning Policy Framework.

4. The oak frames and cladding shall not be stained or painted and shall be left to weather and silver naturally and shall be permanently retained as such thereafter.

Reason: To ensure the development is completed in a manner sympathetic to the site and to safeguard the character of the building, which is listed as being of architectural or historic interest, thereby preserving the special architectural or historic interest which it possesses in accordance with Section 16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 and the National Planning Policy Framework.

5. Prior to the installation of any external doors or windows (including frame colour/finish), oak-frames, and the green roofs, in the development hereby approved, their design and details (including large scale plans and eaves details) shall have been submitted to and approved in writing by the Local Planning Authority.

The design and details shall be accompanied by drawings to a minimum scale of 1:5 with full size moulding cross section profiles, elevations and sections. The development shall only be carried out in accordance with the approved details and retained as such at all times.

Reason: To ensure the development is completed in a manner sympathetic to the site and to safeguard the character of the building, which is listed as being of architectural or historic interest, thereby preserving the special architectural or historic interest which it possesses in accordance with Section 16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 and the National Planning Policy Framework.

6. New rainwater goods shall be of cast iron construction or a substitute which has been approved in writing by the Local Planning Authority and shall be permanently retained as such thereafter.

Reason: To ensure the development is completed in a manner sympathetic to the site and to safeguard the character of the building, which is listed as being of architectural or historic interest, thereby preserving the special architectural or historic interest which it possesses in accordance with Section 16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 and the National Planning Policy Framework.

7. No bargeboards or eaves fascias shall be used in the proposed development.

Reason: To safeguard the character of the building, which is listed as being of architectural or historic interest, thereby preserving the special architectural or historic interest which it possesses in accordance with Section 16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 and the National Planning Policy Framework.

8. The new rooflight(s) shall be of a design which, when installed, shall not project forward of the roof slope in which the rooflight(s) is/are located and shall be permanently retained as such thereafter.

Reason: To safeguard the character of the building, which is listed as being of architectural or historic interest, thereby preserving the special architectural or historic interest which it possesses in accordance with Section 16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 and the National Planning Policy Framework.

Informatives:

1. The development hereby approved shall be carried out in accordance with the following drawing number(s):

Location Plan

048_01_314 Rev P2 - Relaxation Room Proposed Plans

048_03_307 Rev P2 - Proposed Elevations Greenhouse west

048_03_308 Rev P2 - Proposed Elevations Greenhouse East and South

Reason: For purposes of clarity and for the avoidance of doubt, in accordance with the National Planning Policy Framework.

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DEVELOPMENT SERVICES – CONSERVATION RESPONSE FORM

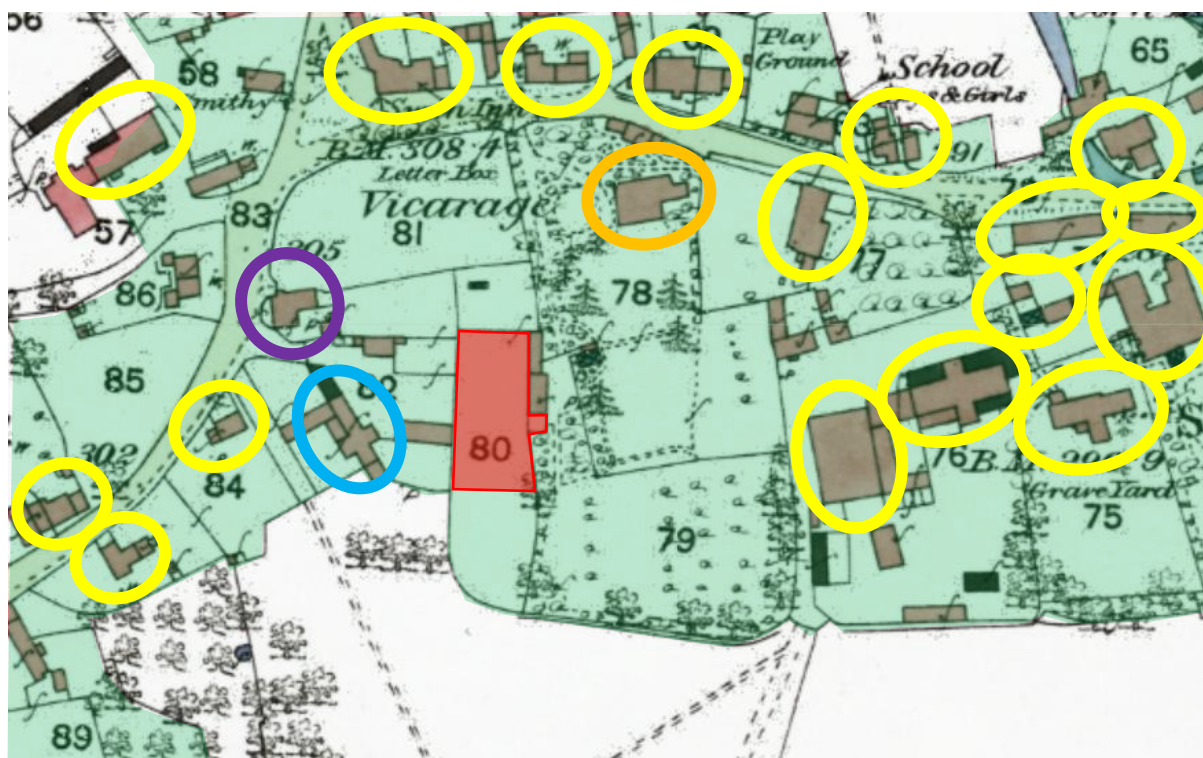
To:	Amy Hill.	Date:	20 th of November 2025.
Ref:	25/02175/FUL		
Address:	Southrop Estate Office, Southrop, Gloucestershire.		
Proposal:	Erection of three new structured and associated landscaping to provide additional spa facilities and hotel accommodation.		

Further comments:

Principle.

Setting of nearby listed buildings.

The application site lies adjacent to the *Southrop Lodge* (listed as ‘*The Lodge*’, formerly the *Vicarage*) and the ‘*Barn approximately 30 metres to south east of Newmans House*’, both of which are grade II listed buildings. It is also within reasonably close proximity to *Newman’s House* (grade II), which lies to the north-west of the site; other listed buildings stand within the wider context, such as the *Swan Inn & Laurel Cottage* to the north, on the further side of Lechlade Road, as well as the listed *Cons shed at Manor Farm*, further to the east.



1876-81, 1:25" Ordnance Survey map. Application site highlighted red; conservation area highlighted green; *Southrop Lodge* encircled orange; *Barn* encircled Blue; *Newman’s House* encircled in purple; other listed buildings encircled in yellow.

Southrop Lodge, to the north-east of the site, is a high-status, early-19th century Vicarage, with a defined garden to the south, which runs down the east side of the application site. The

house itself it at some distance from the site, with limited intervisibility, particularly due to a linear range of intervening outbuildings.

The *Barn* lies to the west of the site, from which it is separated by a further outbuilding; the site of the barn also fronts the open countryside to the south.

Historic map regression depicts an orchard to the south of the garden of *Southrop Lodge*; the configuration of the surrounding screening planting, and the arrangement of paths and access indicates that it formed a part of the wider gardens of the Lodge. The paddock to the west of this, which included the application site, is clearly divided from the orchard, and has no indication of any garden use, suggesting a paddock or utilitarian space; however, this paddock is clearly enclosed by the same curved boundary that enclosed the orchard, strongly indicating that its use was associated with, and within the historic curtilage of *Southrop Lodge*, rather than forming a part of the wider, more open agricultural landscape to the south.

Historic England's Historic Environment Good Practice Advice in Planning: Note 3 advises on the setting of heritage assets, and identifies aspects of setting that can contribute to significance. It lays out a methodology to assess this, including:

1. *Which heritage assets and their settings are affected;*
2. *Assess the degree to which these settings make a contribution to the significance of the heritage asset(s) or allow significance to be appreciated;*
3. *Assess the effects of the proposed development, whether beneficial or harmful, on that significance or on the ability to appreciate it;*
4. *Explore ways to maximise enhancement and avoid or minimise harm.*

The document also clarifies that change to setting is not in itself intrinsically harmful; rather that there has to be harm to an aspect of the setting that contributes towards the asset's significance, in order for a change to be considered harmful.

Whilst the application site appears to have been historically associated with *Southrop Lodge*, as it still is, it does not appear to have formed a part of the designed pleasure grounds, or even the orchard. Visibility was screened by the historic outbuilding. Consequently, the contribution that the application site makes to the setting and significance of *Southrop Lodge* is modest, and relates more to functional association and its location within the clearly defined, curved enclosure.

The proposed development would maintain a functional association with *Southrop Lodge*, but there would be little direct inter-visibility. The design of the development is low-key, and intended to reflect the more broken, modest levels of quasi-agricultural outbuildings that are characteristic of edge-of-settlement sites, along with some discrete, green-roofed contemporary structures. Consequently, it is not considered that the proposed development would cause any harm to the setting or significance of *Southrop Lodge*.

The *Barn* which lies to the west comprised a functional, agricultural building, which would not have had any form of aesthetically-designed setting. It lay on an edge-of-settlement site, with other structures to the north, east and west, but which bounded the open countryside to the south. The application site, lies to the east, beyond an intervening outbuilding. The application site consequently contributes to the setting and significance only insofar as it forms part of the general, edge-of-settlement character of the surroundings.

The proposed development of quasi-agricultural, edge-of-settlement style, and discrete, low, green-roofed contemporary buildings, set to the east beyond a further outbuilding, would leave the *Barn* still with edge-of-settlement development around three sides, and a southern frontage to the open countryside to the south. Consequently, it is not considered that the proposed development would cause any harm to the setting or significance of the *Barn*.

Newman's House comprises a 17th and 18th century house of some status, with a formal frontage onto the road, and a rear wing in a long rear garden. To the rear of the garden of *Newman's House* is the existing swimming-pool building associated with Southrop Lodge, a low, flat-roofed building with a green roof; the application site lies to the south of this, with little shared boundary with *Newman's House*. There is little direct intervisibility between Newman's House and the application site; the only contribution that the site makes to the setting and significance of *Newman's House* is limited to the general, edge-of-settlement character of the area. The proposed development, by virtue of its design, low density, and low scale, would have little impact upon Newman's House, and consequently it is not considered that the proposed development would cause any harm to the setting or significance of *Newman's House*.

The other listed buildings within this part of the village are at greater distance to the site, which contributes little to their setting or significance, and consequently it is not considered that the proposed development would cause any harm to their setting or significance.

Conservation area.

The application site lies within the designated conservation, the boundary of which follows the original, curved boundary to the south of *Southrop Lodge*. The application site is a not unattractive open space, which appears to have been associated with, and within the historic curtilage of *Southrop Lodge*, rather than part of the wider agricultural landscape, albeit it a functional rather than an aesthetic capacity. The general character of the immediate context is very much edge-of-settlement, with former farm buildings to the west, and the designed pleasure grounds and orchard of *Southrop Lodge* to the east. The site does not appear to have been intentionally, aesthetically designed, and does not contribute to any significant views and is not widely visible. The site contributes to the historic value, character and appearance of the conservation area primarily as a space that appears to have been associated with *Southrop Lodge*, and an integral part of the transitional, edge-of-settlement area. The site is of some aesthetic value (fortuitous rather than designed) as an open space; but as it is not widely visible with no significant view, it is not an important open space, and as such, makes a very limited contribution to the character and appearance of the wider conservation area, other than simply forming a part of the general, edge-of-settlement transition between the village and the surrounding countryside.

The proposed development of the site with low-density, sympathetically-designed buildings that are intended to either resemble ancillary outbuildings appropriate to a quasi-agricultural, edge-of-settlement site, and discrete contemporary buildings beneath low, green roofs, would reflect and sustain the traditional, edge-of-settlement character of the context, and the association with *Southrop Lodge* would also be sustained. The loss of the open paddock itself would entail some very limited loss of aesthetic (fortuitous) value, although the wider impact upon the character, appearance and significance of the conservation area would be negligible. Therefore, there may, potentially, be some harm, but this would, at most, be of a very limited nature, and at the extreme bottom of the less-than-substantial spectrum. Any such harm should be weighed against any public benefits that would accrue from the proposal in accordance with Paragraph 215 of the N.P.P.F.

Design.

The latest set of revised drawings do accurately reflect my discussions with the architect, and I am now content that they are appropriate, and would cause no harm to either the setting or significance of the nearby listed buildings, or the character, appearance or significance of the surrounding conservation area.

Recommendation:

Permit (subject to satisfying the planning balance that there is sufficient public benefit to outweigh the at most very slight, less-than-substantial harm).

Suggested conditions:

- Samples of all materials.
- Sample panel of the stone & pointing.
- Details of all external doors and windows.
- Large-scale details of eaves & makeup of flat, green roofs.

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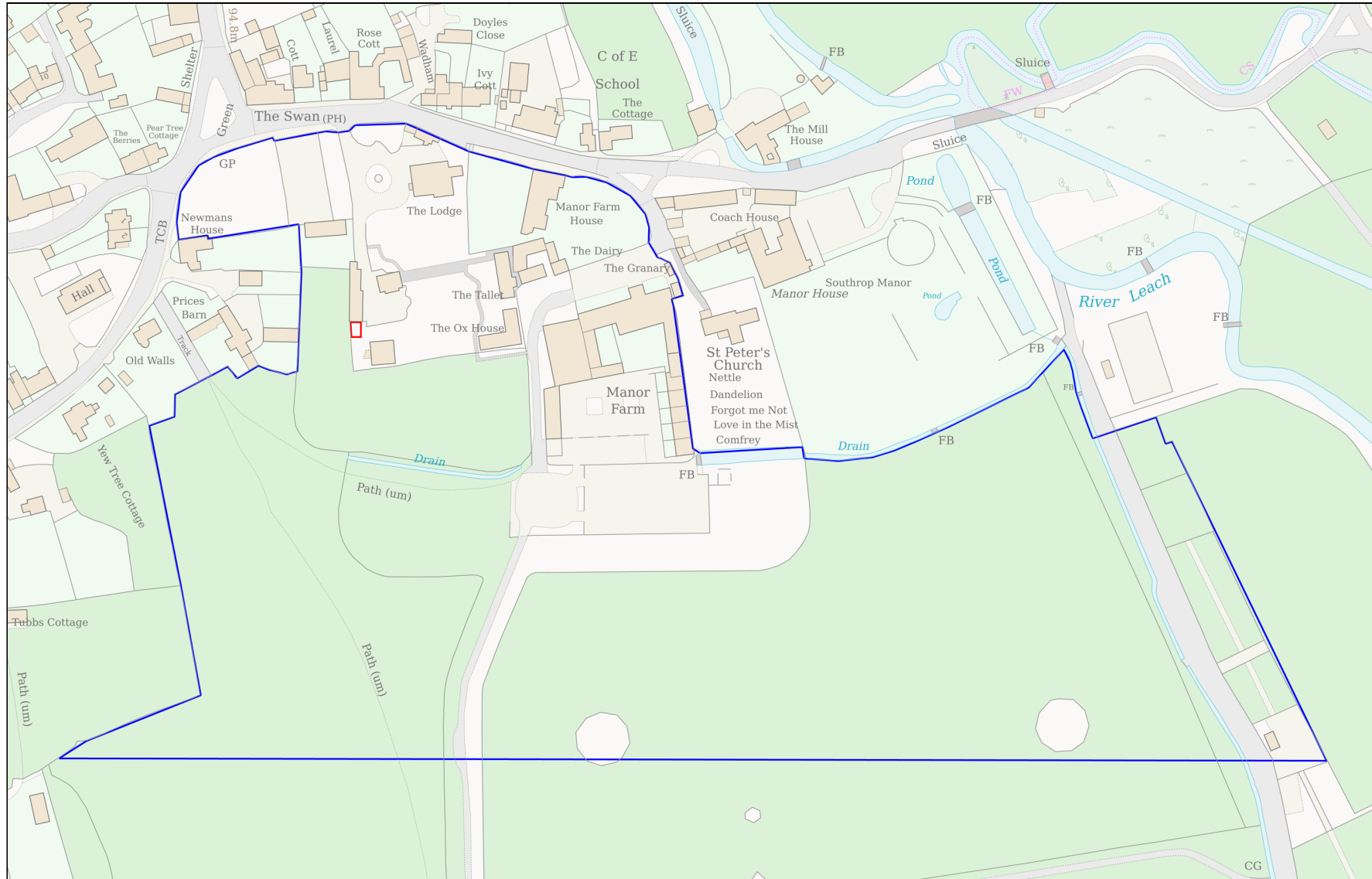
J.A.

Location Plan

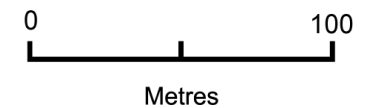
Site Address: Southrop Estates Ltd, The Oxhouse, Southrop Manor Estate, 3/161 Main Road Through Southrop, Southrop, GL7 3NX

Date Produced: 31-Aug-2025

Scale: 1:2500 @A4



Planning Portal Reference: PP-14293385v1



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1 **Relaxation Room West Elevation**
Scale: 1:100

TAW FITZWILLIAM

hello@tawfitzwilliam.com | 01865 806 076 | www.tawfitzwilliam.com

Note:

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P1	01.07.25	Planning issue



Thyme Spa Buildings

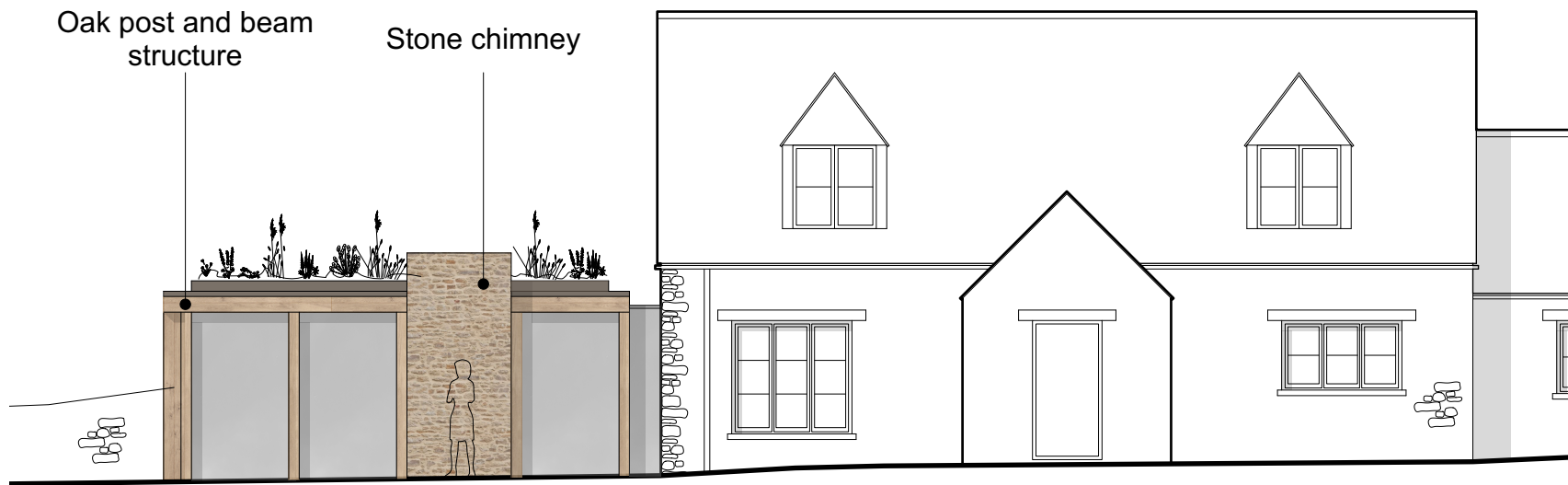
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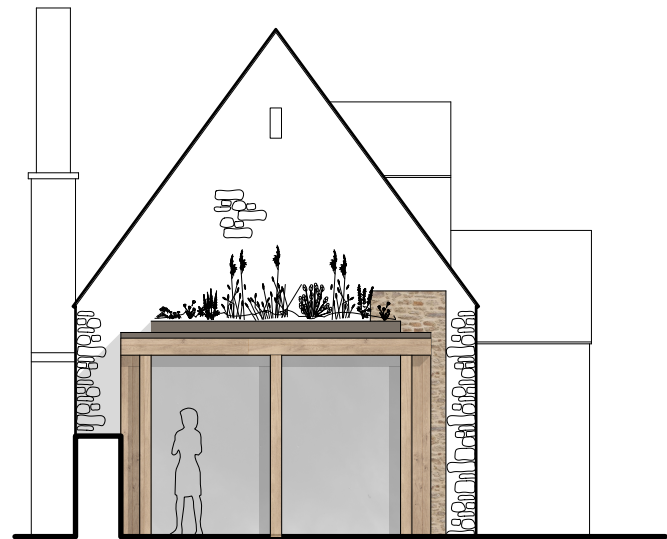
Proposed Elevations
Greenhouse west

1:100 @ A3

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1 Relaxation Room East Elevation
Scale: 1:100



2 Relaxation Room South Elevation
Scale: 1:100

Note:

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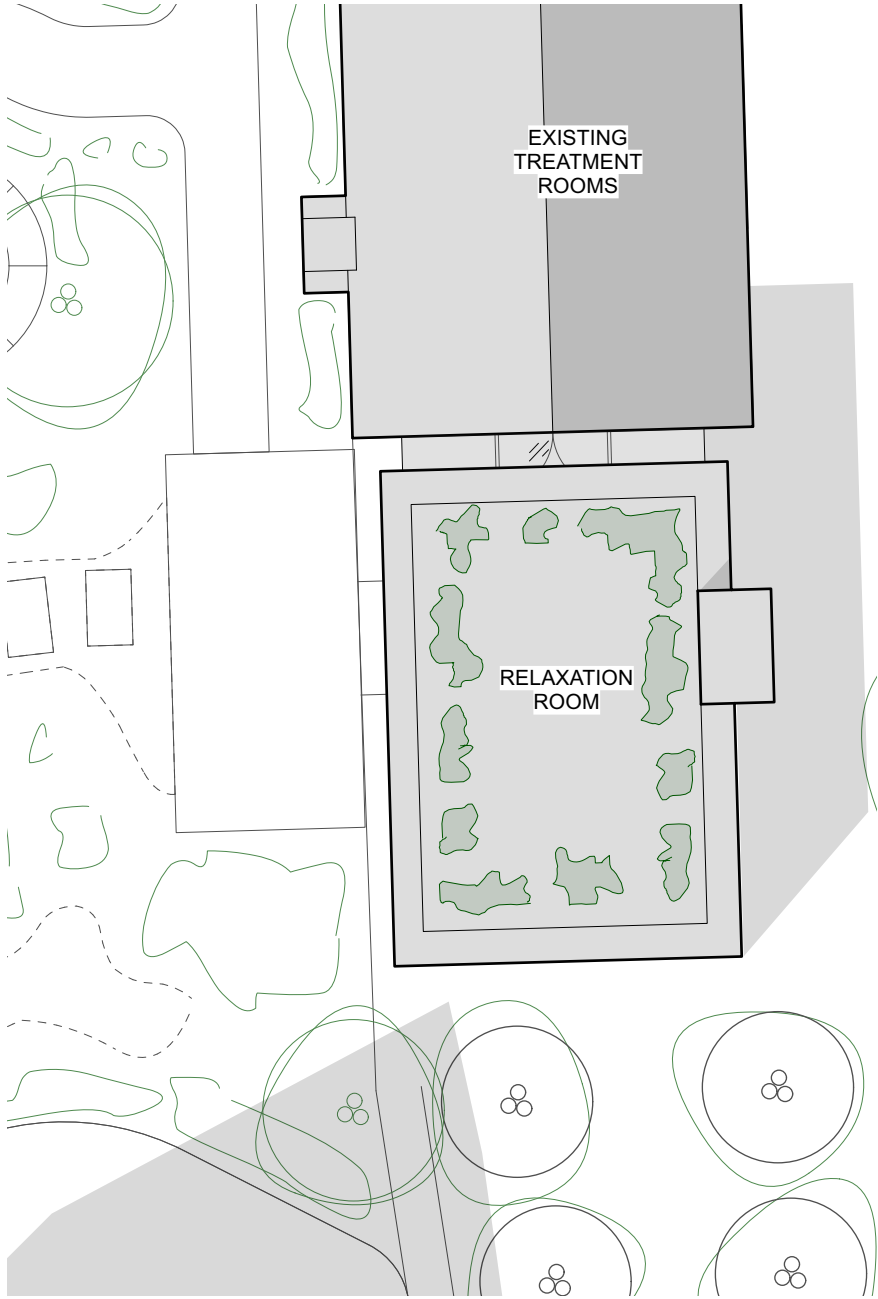
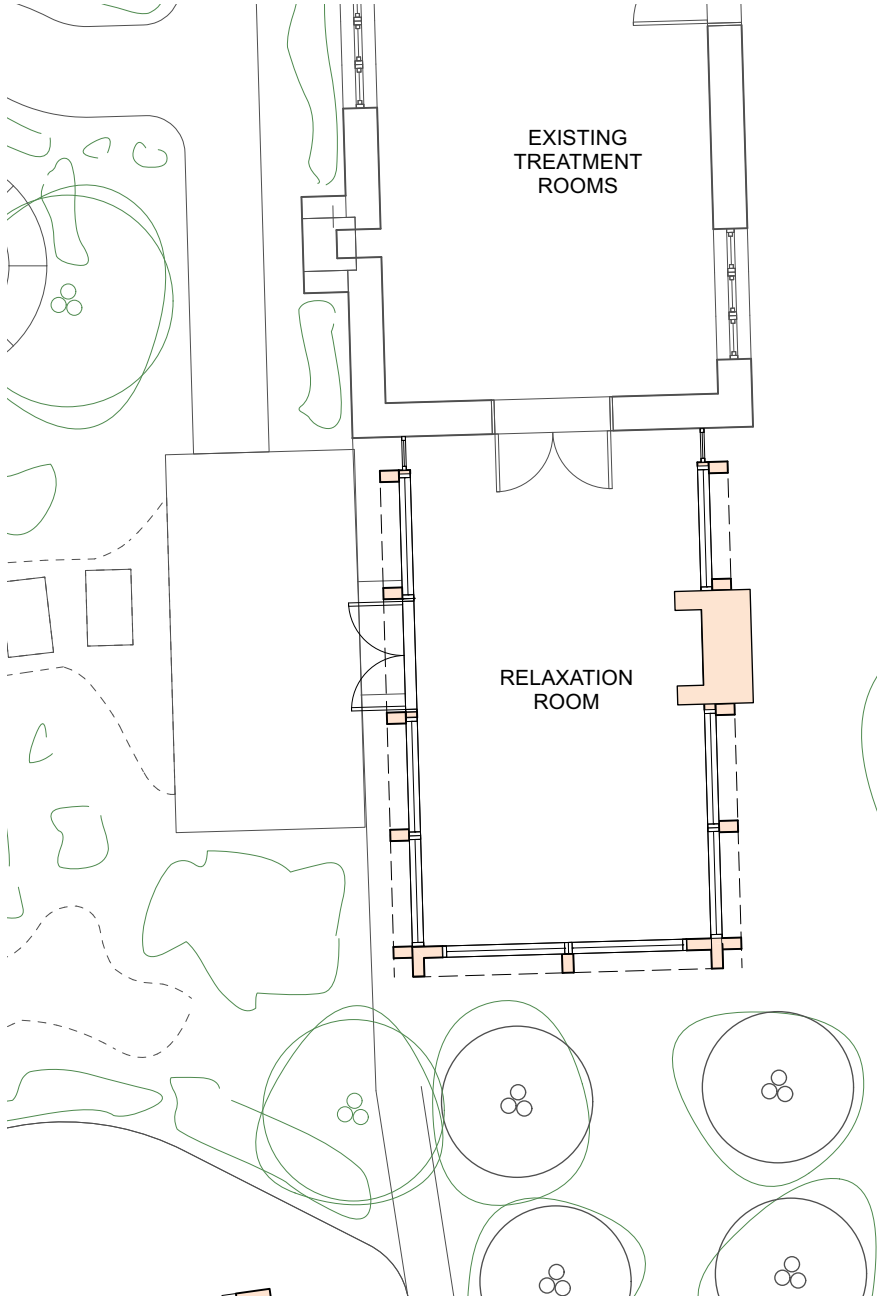
Proposed Elevations
Greenhouse East and South

048_03_308

1:100 @ A3

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Revision		
P1	01.07.25	Planning Issue
P2	24.08.25	Listed Building Consent Issue

1 Relaxation Room - Proposed Floor Plan
Scale: 1:100

2 Relaxation Room - Proposed Roof Plan
Scale: 1:100

P2 24.08.25 Listed Building Consent Issue

Thyme Spa Buildings 048_01_314
Thyme
Southrop
Lechlade
GL7 3NX
Relaxation Room
Proposed Plans
1:100 @ A3

TAW FITZWILLIAM
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Development of land and erection of buildings to expand an existing Integrated Retirement Community (Use Class C2), including landscaping, parking, access and associated works at Siddington Park Cirencester Road Gloucestershire GL7 6GU

Full Application 24/02513/FUL	
Applicant:	RangeFord Holdings Ltd
Agent:	Pegasus
Case Officer:	Andrew Moody
Ward Member(s):	Councillor Mike Every
Committee Date:	14 January 2026
RECOMMENDATION:	PERMIT SUBJECT TO THE COMPLETION OF A SECTION 106 LEGAL AGREEMENT FOR THE PAYMENT OF FINANCIAL CONTRIBUTIONS TOWARDS LIBRARY FACILITIES AND TRAVEL PLAN; ALSO, THE PAYMENT OF THE FINANCIAL CONTRIBUTION TO MITIGATE THE IMPACT OF THE DEVELOPMENT UPON THE NORTH MEADOW AND CLATTINGER FARM SPECIAL AREA OF CONSERVATION

1. Main Issues:

- (a) Background and Proposed Development
- (b) Principle of Development
- (c) Affordable Housing
- (d) Design and Impact upon Heritage Assets
- (e) Landscape and Trees
- (f) Residential Amenity
- (g) Biodiversity
- (h) Highways
- (i) Library Contribution
- (j) CIL

2. Reasons for Referral:

- 2.1 The application has been referred to the Review Panel by the Ward Member, Cllr Mike Every, for the following reasons:

- 2.2 *'I would like this application to be considered by the Approval Panel and subsequently considered by the Planning and Licensing Committee for the following reasons:*

2.2.1 The size of this development (55 dwellings) makes it a major application which would automatically be considered by the Committee under our current scheme of delegation. This application was validated just a week or so before that scheme came into force.

2.2.2 There has been significant interest in the application locally with many objections made by residents about the scale of the development and its potential impact on the residential amenity of neighbours

2.2.3 If granted, the dwellings would contribute towards the District's increased housing target although there are no affordable dwellings incorporated into the scheme.'

3. Site Description:

- 3.1 The proposal relates to land that forms part of the site associated with the now constructed Care Home development, known as Siddington Park, adjacent to, and accessed from, the A419. The site is to the southern side of the access to the east of the village of Siddington, and to the west of the village of Preston.
- 3.2 The site is bounded by residential development to the north (Preston Leigh) and south and the existing care home buildings to the east. It is not within a Conservation Area and the nearest Listed Buildings are Preston Mill, just to the north-west across the South Cerney Road, and Siddington House to the south of the existing care home development, both of which are Grade II listed. The site is covered by a group Tree Protection Order (TPO).
- 3.3 The site is located within Flood Zone 1 as identified by the Environment Agency.

4. Relevant Planning History:

- 4.1 06/02770/OUT: Outline application for business park (Use Class B1): Granted 14.12.2007
- 4.2 08/01259/REM: Reserved Matters application for the detailed roundabout access to the previously approved employment development: Granted 15.10.2008

- 4.3 11/05462/FUL: Construction of site access, including connection to new roundabout on A419: Granted 25.01.2012
- 4.4 11/05716/OUT: Outline application for a Continuing Care Retirement Community (Use Class C2), including a core building with care bedrooms, close care units, linked assisted units and ancillary facilities, detached assisted living units, landscaped grounds, internal highway layout and car parking (access layout of all buildings, full details of the core building and 20 associated assisted living units to be determined in detail): Granted 13.11.2012
- 4.5 14/05481/REM: Reserved Matters pursuant to Outline permission ref. 11/05716/OUT (Continuing Care Retirement Community (Use Class C2), including a core building with care bedrooms, close care units, linked assisted units and ancillary facilities, detached assisted living units, landscaped grounds, internal highway layout and car parking). Granted 09.10.2015
- 4.6 15/02532/OUT: Outline application for an extension to the continuing care retirement community development permitted under application ref: 11/05716/OUT (Use Class C2) comprising the construction of a 46-bed Dementia Care Unit and additional 4 blocks of Assisted Living Units (32-beds), landscaped grounds, internal highways, car parking and associated works: Granted 11.03.2016
- 4.7 16/01264/FUL: Application for an additional assisted living apartment block (6 units) within the previously permitted Continuing Care Retirement Community development (Use Class C2): Granted 12.07.2016
- 4.8 17/00076/OUT: Part Outline/part detailed full application for planning permission for a revised scheme for the Continuing Care Retirement Community permitted under Application Ref 11/05716/OUT (Use Class C2) and under application Ref 15/02532/OUT (Use Class C2), comprising the extension of earlier site, construction of a central facilities building providing community care services together with provision of 171 Assisted Living Units/Close Care Units together with landscaped grounds, internal highways, parking and associated works Permitted 21.02.2018
- 4.9 20/00543/FUL Erection of single storey ancillary building associated with the care home for a temporary 3 year period and erection of 4 flagpoles with associated car parking and landscape works including gates and wall. Granted 21.02.2018

5. Planning Policies:

- TNPPF The National Planning Policy Framework
- DS4 Open Market Housing o/s Principal/non-Pr
- EN1 Built, Natural & Historic Environment
- EN2 Design of Built & Natural Environment
- EN4 The Wider Natural & Historic Landscape
- EN7 Trees, Hedgerows & Woodlands
- EN8 Bio & Geo: Features Habitats & Species
- EN9 Bio & Geo: Designated Sites
- EN10 HE: Designated Heritage Assets
- EN14 Managing Flood Risk
- EN15 Pollution & Contaminated Land
- INF3 Sustainable Transport
- INF4 Highway Safety
- INF5 Parking Provision
- INF7 Green Infrastructure

6. Observations of Consultees:

- 6.1 Conservation Officer: Concerns over the design, comments incorporated into the report
- 6.2 Biodiversity Officer: No objection subject to conditions
- 6.3 Strategic Housing: Accepts content of Viability Assessment
- 6.4 Environmental and Regulatory Services (Noise): No objection subject to conditions
- 6.5 Environmental and Regulatory Services (Contamination): No objection
- 6.6 Newt Officer: No objection, recommends informative note
- 6.7 Lead Local Flood Authority: No objection
- 6.8 Environment Agency: No comment
- 6.9 Thames Water: No objection
- 6.10 GCC Community Infrastructure: Contribution towards Library provision required

6.11 Natural England: No objection subject to securing appropriate mitigation

7. View of Town/Parish Council:

7.1 Preston Parish Council:

Whilst the Parish Council has no objections to this application, it is particularly concerned about the effect that it will have on existing residents on the site as well as those in the neighbouring properties in Preston Leigh. In particular:

- Building is much denser than the completed part of the site.
- Windows and balconies will overlook properties in Preston Leigh as acknowledged in the Statement of Community Involvement.
- Insufficient car parking and spaces provided should be wider to accommodate disabled and elderly residents.
- There is no continuous flow of traffic through the site. Any vehicles entering the site, on the existing narrow roads, will need to turn causing congestion and possible issues for emergency vehicles.
- Existing trees should be retained and all measures recommended by Ayers Forestry in the Arboricultural report should be adhered to.
- There is concern regarding the safety of some of the existing trees which may be dead or diseased, particularly as a bough fell into the garden of a Preston Leigh resident recently.
- The Parish Council would like to see plans for planting to mitigate the impact of the development.
- There is concern whether the attenuation tank, previously installed, is adequate to cope with the proposals in phase 2?

7.2 During the construction phase, the Parish Council would like to see the following arrangements put in place for the benefit of existing residents and those at Preston Leigh:

- Restriction of working hours to include early mornings and weekends
- Concern re 24/7 security lighting and cameras which were a nuisance during phase 1 of the build.
- Concern regarding congestion on the narrow roads within the site for construction and emergency vehicles.
- Satellite Navigation systems direct traffic to Preston Leigh and, therefore, clear signage to the site is required

7.3 In addition, concerns have been raised regarding the overgrown planting around the attenuation tank which is causing visibility problems for drivers on

the South Cerney Road as well as whether the currently closed site exit / entrance on the South Cerney Road will be reinstated. Please could you confirm the situation ?

8. Other Representations:

8.1 48 representations have been received objecting to the proposal, raising the following matters:

- density too high
- traffic and congestion
- development too high
- will overrun facilities in Phase 1
- would prefer two storey maximum
- overlooking
- insufficient parking provided
- massing and impact upon neighbours
- loss of daylight
- loss of green space that contributes positively to the area
- contrary to Design Code
- impact upon amenity of residents
- impact upon trees

9. Applicant's Supporting Information:

- Acoustics Report
- Affordable Housing Statement
- Arboricultural Impact Assessment and Method Statement
- Biodiversity Self-Assessment Form
- BNG Metric
- Design and Access Statement
- Financial Viability Statement
- Flood Risk Assessment
- Heritage Report
- Phase 1 Geo-Environmental Risk Assessment
- Planning Statement
- Preliminary Ecological Appraisal
- Sustainability Stage 2 Report
- Transport Statement
- Travel Plan
- Seniors Housing Need Planning Assessment
- Statement of Community Involvement

10. Officer's Assessment:

(a) Background and Proposed Development

- 10.1 The background to the development of this includes an outline planning permission (ref: 06/02770/OUT) that was granted for development of the wider Siddington Park site as a business park, which includes the current application site.
- 10.2 Further to this, outline planning permission for Phase 1 of the Integrated Retirement Community (Use Class C2) development and associated works was granted under reference 11/05716/OUT, reserved matters approved under reference 14/05481/REM, as well as a full planning permission for additional development within the Phase 1 boundary (ref: 16/01264/FUL). These permissions relate to the Phase 1 development that has been constructed immediately to the south and south-east of the application site.
- 10.3 With regard to the application site subject to this application, outline planning permission was granted for a C2 Use Class development, comprising a care home and assisted living units under reference 15/02532/OUT. This permission was not implemented.
- 10.4 Outline planning permission (ref: 17/00076/OUT) was also granted for the Phase 1 and 2 land for Assisted Living Units/Close Care Units. This was also not proceeded with.
- 10.5 Therefore, any previously granted outline permissions for the development of the Phase 2 site have expired. They are, however, material considerations in the determination of the current application.
- 10.6 The proposal includes the erection of 6 blocks of apartments, containing a total of 55 units.

Block 1

- 10.7 This would be two storeys in height and located closest to the roundabout off the A419, containing 3 units, each with 3 bedrooms.

Block 2

- 10.8 This would also provide accommodation on two floors, with a total of 8 units to include 2 x 1-bed; 4 x 2-bed and 2 x 3-bed units.

Block 3

- 10.9 11 units would be included within this building across three floors. The unit sizes would be 3 x 1-bed; 5 x 2-bed and 3 x 3-bed.

Block 4

- 10.10 Block 4 would be positioned towards the north-western corner of the site, with a mix of 3 and 4-storey heights, containing 15 units. This would include 3 x 1-bed; 7 x 2-bed and 5 x 3-bed.

Block 5

- 10.11 This block includes 9 units across three floors. The units provided would include 3 x 1-bed and 6 x 2-bed.

Block 6

- 10.12 This building also includes 9 units across three floors, including 3 x 1-bed and 6 x 2-bed.
- 10.13 The 55 units would, therefore, include 14 x 1-bed; 28 x 2-bed and 13 x 3-bed, with the height of the buildings varying between two and four storeys in height.

(b) Principle of Development

- 10.14 Section 38(6) of the Planning and Compulsory Purchase Act 2004 states that 'If regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise.' The starting point for the determination of an application would therefore be the current development plan for the District which is the Cotswold District Local Plan 2011-2031.
- 10.15 The site the subject of this application is situated outside of any Development Boundary as identified with the current Local Plan. The site also lies outside of a settlement, being considered separate from Cirencester, South Cerney and Siddington for the purposes of the Council's Housing Strategy. Therefore, Policy DS4 is of relevance to the consideration of the proposal, which states that:

- 10.16 'New-build open market housing will not be permitted outside Principal and Non-Principal Settlements unless it is in accordance with other policies that expressly deal with residential development in such locations.'
- 10.17 Notwithstanding this, the proposals are for Use Class C2 (Residential Institutions) development, the type of development proposed is addressed within the Local Plan's Housing policy set and paragraph 8.0.1 explains that "The purpose of this section is to guide delivery of the identified needs for housing in the District. Development will be required to provide an appropriate mix of dwelling sizes, tenures and types reflecting the overall Local Plan requirements and the requirements of the locality at the time of the development."
- 10.18 Policy H1 (Housing Mix & Tenure to Meet Local Needs) states that:-
1. All housing developments will be expected to provide a suitable mix and range of housing in terms of size, type and tenure to reflect local housing need and demand in both the market and affordable housing sectors, subject to viability. Developers will be required to comply with the Nationally Described Space Standard.
 2. Any affordable accommodation with two or more bedrooms will be expected to be houses or bungalows unless there is a need for flats or specialist accommodation.
 3. Proposals of more than 20 dwellings will be expected to provide 5% of dwelling plots for sale as serviced self or custom build plots unless demand identified on the Local Planning Authority's Self-Build and Custom Register, or other relevant evidence, demonstrates that there is a higher or lower level of demand for plots.
 4. Starter Homes will be provided by developers in accordance with Regulations and National Policy and Guidance.
 5. Exception sites on land that has been in commercial or industrial use, and which has not currently been identified for residential development, will be considered for Starter Homes.
- 10.19 Policy H2 (Affordable Housing) sets out the policy in relation to affordable housing contributions in all housing developments that provide 11 or more new dwellings (net) or have a combined gross floorspace of over 1,000sqm, and that such developments will be expected to contribute towards affordable housing provision to meet an identified need in the District and address the Council's

strategic objectives on affordable housing. The Policy states that the affordable housing requirement on all sites requiring a contribution, subject to viability, is up to 40% of new dwellings gross (on non-brownfield land).

10.20 Also relevant to the consideration of this application is Local Plan Policy H4 (Specialist Accommodation for Older People). This states that:-

'Proposals for specialist accommodation for older people, including sheltered and extra care housing, care homes and other appropriate models of accommodation for the elderly and those with particular needs will be permitted provided that the development:

- Meets a proven need for that type of accommodation
- Is designed to meet the particular requirements of residents with social, physical, mental and/or health care needs
- Is easily accessible to public transport, shops, local services, community facilities and social networks for residents, carers and their visitors and
- Where accommodation is provided on a freehold or leasehold basis, it should provide affordable housing in accordance with Policy H2. This includes proposals for self-contained units of accommodation within a residential institution (use class 2). In the case of sheltered accommodation and extra care accommodation a mix of tenures will be encouraged. Where a development site has been divided into parts, or is being delivered in phases, the site will be considered as a whole for the purpose of determining the appropriate affordable housing requirement.'

10.21 As the supporting text to Policy H4 explains (para. 8.4.5), "There is often confusion as to whether specialist accommodation for older persons falls into the use class defined as residential institutions (C2) or a dwelling house (C3). Nevertheless, development which creates living spaces that retain the essential characteristics of a self-contained dwelling, even if some care is provided, will be expected to provide affordable housing in accordance with Local Plan Policy H2". The current proposals are for self-contained apartments and therefore would be expected to contribute towards affordable housing provision.

10.22 Paragraph 8.4.1 of the current Local Plan supporting text for Policy H4 states that "The SHMA Update (April 2016) anticipates a dramatic growth in the older population in Cotswold District with higher levels of disability and health problems amongst older people. There is a requirement for 665 sheltered and extra care housing units between 2017 and 2031. This forms part of the OAN. These [sic] are also a requirement for 580 nursing and residential bedspaces between 2017 and 2031. This is in addition to the OAN. Identified needs are a

snapshot in time and applicants must refer to the latest evidence, such as future updates to the SHMA, when submitting planning applications. Specialist accommodation for older people should include a range of tenures and should not contribute to unbalanced communities."

10.23 With regard to need, the NPPF states the following at paragraphs 62 and 63:

62. To determine the minimum number of homes needed, strategic policies should be informed by a local housing need assessment, conducted using the standard method in national planning practice guidance. In addition to the local housing need figure, any needs that cannot be met within neighbouring areas should also be taken into account in establishing the amount of housing to be planned for.

63. Within this context of establishing need, the size, type and tenure of housing needed for different groups in the community should be assessed and reflected in planning policies. These groups should include (but are not limited to) those who require affordable housing (including Social Rent); families with children; looked after children; older people (including those who require retirement housing, housing with-care and care homes); students; people with disabilities; service families; travellers; people who rent their homes and people wishing to commission or build their own homes.

10.24 In addition to the above, it is noted that the Government published a draft version of the NPPF on the 16th December 2025. The consultation period for the aforementioned document expires on the 10th March 2026 and it is anticipated that a final version of the NPPF will be released in Spring 2026. Whilst the draft NPPF is a consultation document, it is considered that the proposed policies within it are a material consideration and must be given a degree of weight at the present time.

10.25 The Gloucestershire Local Housing Needs Assessment (2020) (GLHNA) identifies that the population aged 75+ within the Cotswold District is likely to increase by 8,998 persons over the 20-year period 2021-41, and identified a need for 1,699 units of 'owned' sheltered housing and 149 units of 'owned' extra care units in Cotswold District by 2041.

10.26 The application has been supported by a Needs Assessment, which draws the conclusion that there is a current '*significant shortfall in the number of seniors housing units within the Cotswold local authority. Furthermore, content from Cotswold District Local Plan 2011 - 2031 documents also recognises a need to increase the provision of seniors housing. Population projections provided by*

the ONS estimate there will be significant growth in the 65+ and 75+ population which will further strengthen the argument for increased provision of specialised housing for the elderly.'

- 10.27 This has been assessed by the Strategic Housing team, who are in agreement with the conclusions, and are satisfied that a need for the development can be evidenced.
- 10.28 Notwithstanding the above, the Local Planning Authority has to have regard to policies in the National Planning Policy Framework (NPPF) when reaching a decision. The NPPF represents a significant material consideration. In particular, it is noted that the December 2024 update of the NPPF introduced a new standard method for calculating local housing need. Prior to the December changes to the NPPF, the Council could demonstrate a 7.3 year supply of housing land. However, as a result of the aforementioned changes, the Council can now only demonstrate a 1.8 year supply.
- 10.29 The new standard method requires that the Council has to deliver 1036 homes per annum as opposed to the 504 homes per annum requirement that existed prior to the December 2024 update. Moreover, the aforementioned update to the NPPF removed the wording in the document that enabled previous over-supply to be set against upcoming supply. The residual requirement for the remainder of the Local Plan period would have been 265 dwellings per annum (based on the Housing Land Supply Report August 2023) prior to the changes in December. The December changes to the NPPF therefore result in the Council having to deliver a far higher number of dwellings than that required prior to December 2024. As the supply figure is now under 5 years, it is necessary to have regard to paragraph 11 of the NPPF, which states:

11. Plans and decisions should apply a presumption in favour of sustainable development.

- 10.30 For decision-taking this means:

- c) approving development proposals that accord with an up-to-date development plan without delay; or
- d) where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date, granting permission unless:

i. the application of policies in this Framework that protect areas or assets of particular importance provides a strong reason for refusing the development proposed; or

ii. any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole, having particular regard to key policies for directing development to sustainable locations, making effective use of land, securing well-designed places and providing affordable homes, individually or in combination.

10.31 Footnote 8 of the NPPF advises that 'out-of-date' for the purposes of paragraph 11 includes 'for applications involving the provision of housing, situations where: the local planning authority cannot demonstrate a five year supply of deliverable housing sites (with the appropriate buffer as set out in paragraph 78): or where the Housing Delivery Test indicates that the delivery of housing was substantially below (less than 75% of) the housing requirements over the previous three years.' In light of this guidance, it is considered that the policies in the Local Plan controlling new housebuilding are out-of-date at the present time, and that paragraph 11 would be engaged in these circumstances.

10.32 With regard to 11 d) i., the site is not within either a conservation area or the Cotswolds National Landscape, whilst the nearest listed buildings are separated from the site by existing development. The site is within the Zone of Influence for the North Meadow Special Area of Conservation (SAC), however mitigation may be provided in respect of this, as discussed below.

10.33 In respect of 11 d) ii., and in the absence of a 5-year housing land supply, the site is within a relatively sustainable location, considering the Phase 1 development, and the ease of access to facilities within Cirencester.

10.34 Therefore, whilst the site is outside of any development boundary designated within the Local Plan, it is considered that the need for additional C2 housing provision is considered to have been demonstrated and, coupled with the current 5-year housing land supply within the District, the provision of 55 units would also weigh significantly in favour of the proposal being considered acceptable in principle.

(c) Affordable Housing

10.35 Policy H2 of the Local Plan requires that:

1. *All housing developments that provide 11 or more new dwellings (net) or have a combined gross floorspace of over 1,000sqm will be expected to contribute towards affordable housing provision to meet the identified need in the District and address the Council's strategic objectives on affordable housing.*

2. *In rural areas, as defined under s157 of the Housing Act 1985, all housing developments that provide 6 to 10 new dwellings (net) will make a financial contribution by way of a commuted sum towards the District's affordable housing need subject to viability. Where financial contributions are required payment will be made upon completion of development.*

3. *The affordable housing requirement on all sites requiring a contribution, subject to viability is:*

- i. Up to 30% of new dwellings gross on brownfield sites; and*
- ii. Up to 40% of new dwellings gross on all other sites.*

4. *In exceptional circumstances, consideration may be given to accepting a financial contribution from the developer where it is justified that affordable housing cannot be delivered on-site, or that the District's need for affordable housing can be better satisfied through this route. A financial contribution will also be required for each partial number of affordable units calculated to be provided on site.*

5. *The type, size and mix, including the tenure split, of affordable housing will be expected to address the identified and prioritised housing needs of the District and designed to be tenure blind and distributed in clusters across the development to be agreed with the Council. It will be expected that affordable housing will be provided on site as completed dwellings by the developer, unless an alternative contribution is agreed, such as serviced plots.*

6. *Where viability is questioned or a commuted sum is considered, an "open book" assessment will be required. The local planning authority will arrange for an external assessment which will be paid for by the developer.*

10.36 A Financial Viability Assessment has been provided with the application. Owing to the commercially sensitive financial content, this has not been put into the public domain.

10.37 However, the report concludes that ... *the proposed scheme is unable to support any affordable housing. This is because the residual land value generated by a*

100% private scheme is below the Benchmark Land Value. The main reason for the viability conclusion is the high construction costs relative to the achievable sales values in this location.

- 10.38 The content of this report has been consulted upon by Officers with external consultants, who have confirmed that they concur with its findings. This has also been agreed by the Strategic Housing team, such that it is considered that the proposal would accord with Part 6 of Policy H2, and that no contribution towards affordable housing provision is required, either through the inclusion of on site units within the application, or a financial contribution towards off-site provision.

(d) Design and Impact upon Heritage Assets

- 10.39 Siddington Park House and Preston Mill are grade II listed buildings and are in proximity to the proposal site. The Local Planning Authority is therefore statutorily required to have special regard to the desirability of preserving these buildings and monuments, as well as their setting, and any features of special architectural or historic interest it may possess, in accordance with Section 16(2) of the Planning (Listed Building and Conservation Areas) Act 1990.

- 10.40 Preston Conservation Area is located to the opposite side of the A419 Cirencester Road and its setting is a planning consideration which could be impacted by long distance views.

- 10.41 Local Plan Policy EN10 Designated Heritage Assets is also relevant and states:

'1. In considering proposals that affect a designated heritage asset or its setting, great weight will be given to the asset's conservation in proportion with the importance of the asset.

2. Development proposals that sustain and enhance the character, appearance and significance of designated heritage assets (and their settings), and that put them to viable uses, consistent with their conservation, will be permitted.

3. Proposals that would lead to harm to the significance of a designated heritage asset or its setting will not be permitted, unless a clear and convincing justification of public benefit can be demonstrated to outweigh that harm. Any such assessment will take account, in the balance of material considerations:

- The importance of the asset

- The scale or harm; and
- The nature and level of the public benefit of the proposal.

10.42 Local Plan Policy EN11 Conservation Areas states 'Development Proposals, that would affect Conservation Areas and their settings, will be permitted provided they:

- Preserve and where appropriate enhance the special character and appearance of the Conservation Area in terms of siting, scale, form, proportion, design, materials and the retention of positive features.
- Include hard and soft landscape proposals, where appropriate, that respect the character and appearance of the Conservation Area
- Will not result in the loss of open space, including garden areas and village greens, which make a valuable contribution to the character and/or appearance, and/or allow important views into or out of the Conservation Area.'

10.43 Local Plan Policy EN2 - Design of the Built and Natural Environment states that: 'Development will be permitted which accords with the Cotswold Design Code (Appendix D). Proposals should be of design quality that respects the character and distinctive appearance of the locality.'

10.44 With regard to the Cotswold Design Code:

D.9: Careful study should be made of the context of any new development. Each site will have its own characteristics, and a specific landscape or townscape setting. Any proposed development should respond to this.

D.10: Settlements are distinctive in how they sit within the landscape. They have their own unique layouts and patterns of streets. These characteristics should be reflected in the location and design of the new developments.

D.14: In designing new development, close attention to the site and its setting should work at all levels, from overall principle, density and grain to the scale, form, roofscapes, elevations and detailed features of the buildings and then the landscaping surrounding them.

D.16: New buildings should be carefully proportioned and relate to the human scale, and to their landscape or townscape context.

D.17: Excessive or uncharacteristic bulk should be avoided. New buildings should generally not dominate their surroundings, but should complement the existing structures or landscape, and sit comfortably within their setting.

D.18: The height of new buildings should respond to the local context.

10.45 Section 16 of the National Planning Policy Framework (NPPF) requires that Local Planning Authorities should take account of the desirability of sustaining or enhancing the significance of heritage assets, including their settings.

10.46 Paragraph 210 states 'In determining applications, local planning authorities should take account of:

a) The desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation:

b) The positive contribution that the conservation of heritage assets can make to sustainable communities including their economic vitality; and

c) The desirability of new development making a positive contribution to local character and distinctiveness'.

10.47 Paragraph 212 states 'When considering the impact of a proposal on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance'.

10.48 Paragraph 213 states 'Any harm to or loss of the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification'.

10.49 Paragraph 215 states 'Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposals'.

10.50 Paragraph 219 states 'Local planning authorities should look for opportunities for new development within Conservation Area and World Heritage Sites, and within the setting of heritage assets, to enhance or better reveal their significance. Proposals that preserve those elements of the setting that make a positive contribution to the asset (or which better reveal its significance) should be treated favourably.'

- 10.51 The NPPF in Annex 2 defines the Setting of a Heritage Asset as 'The surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate the significance of an asset or may be neutral'.
- 10.52 Significance is defined in Annex 2 of the NPPF as 'the value of a heritage asset to this and future generations because of its heritage interest. That interest may be archaeological, architectural, artistic or historic'.
- 10.53 Section 12 of the National Planning Policy Framework requires good design.

Paragraph 135 states that policies and decisions should ensure that developments:

- function well and add to the overall quality of an area;
- are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;
- are sympathetic to local character and history, including the surrounding built environment and landscape setting.

- 10.54 Having regard to Policy H1, developers are required to comply with the Nationally Described Space Standards (NDSS) on all residential units. These have been satisfied with regard to the floor space of each of the proposed units.
- 10.55 Preston Mill is a grade II listed building, which is close to the current outlined site, albeit that it is separated by the development of houses at Preston Leigh. The sluice and ponds relating to the Mill are largely to its front elevation and its location, alongside that of the River Churn, on the opposite side of the highway would indicate that its significance is unlikely to be physically affected.
- 10.56 However, in character and visual terms Preston Mill and Preston Mill Barn (on the opposite side of the village road to the Mill, but adjacent to the site) have a scale and relationship to each other and the village road which is important to the significance of the Mill's setting and the character of the area. Therefore, it is considered important that this scale and form is respected particularly in relation to proposed built form.
- 10.57 The proposal site is Phase 2 of the development of a Retirement Village, with Phase 1 having been completed. The Phase 2 site includes the area of the site to the west of the access road, which directly accesses from the A419 Cirencester Road. In this respect, the entrance to the site would be prominent from the highway, alongside the Phase 1 development to the southeast of the

site and lining the boundary of the Road are largely concealed by the protected tree line.

- 10.58 The Phase 1 development includes buildings of between 2 and 4 storeys in height, a total of 123 units, with their locations being carefully located in relation to their context, notably with the lower buildings located along the access road and adjacent to the listed building Siddington Park House. The Phase 2 proposal site also has two storey buildings (including Preston Mill) to the north and north-west of the site, and also opposite the access road within the site within Phase 1.
- 10.59 The design of the development has been amended since submission, owing to concerns over the scale, massing and appearance of the proposal, together with the impact upon the setting of the above mentioned heritage assets. These amendments have addressed a number of the concerns, although the Senior Conservation and Design Officer remains of the opinion that further alterations to the proposal would be required to address outstanding concerns that relate to the fenestration, which is detailed below:

10.59.1 With Phase 2 the scale, heights and mass of the proposed development on the site would be significantly greater than the existing buildings surrounding the site, as with Phase 1. This in turn is considered to causes a level of harm collectively to the settings of Preston Mill, Siddington Park House and Preston Conservation Area.

10.59.2 However, the level of harm has been mitigated to a degree by the proposed two storey heights and the lower massing of Block 1 representing a row of cottages utilising some Cotswold vernacular forms, proportions and details in local materials and to a lesser degree Block 2 which has greater mass and 2.5 storey height. On balance the locations and scale, mass and heights of Blocks 1 and 2 would cause a low level and no greater harm the settings of Preston Mill and Preston Conservation Area, than Phase 1.

10.59.3 Block 3 on balance would cause no greater harm than Phase 1 to the settings of Preston Mill or Preston Conservation Area directly, due to its lower height, mass and scale and its location more centrally to the development site.

10.59.4 However, Block 4 would cause a greater level of harm to the setting of Preston Mill due to their proximity to each other and their clear contrast in scale, mass and height, to each side of the village road to Siddington. The lower section of Block 4 adjacent to Preston Leigh in conjunction with the trees which line the village road to Siddington, provides a level of mitigation, but the

contrast in scale, mass and height, would still be evident and less than substantial harm would still be caused.

10.59.5 Blocks 5 and 6 are lower than Block 4 but would also line the road to Siddington, albeit set back behind the tree line. Block 6 is sited at an angle which lowers its overall visual mass, but the combined long elevations of Blocks 4 and 5 would be parallel to the road, collectively causing an additional level of harm. The setting of Preston Mill and how it is experienced includes the rural low-density character of the road to Siddington Village.

10.59.6 Therefore, it is considered that Block 4 would cause a greater level of less than substantial harm to the setting of Preston Mill as a listed building than the harm caused by Phase 1 and the remainder of Phase 2 on the settings of the designated heritage assets.

- 10.60 These concerns have been brought to the attention of the applicant, however no further amendments to the design have been forthcoming, and it has been requested that the application be determined on the basis of the submitted plans.
- 10.61 Having reviewed the concerns raised in respect of the design, the main issues relate to Blocks 5 and 6 in respect of their scale, mass, height and design.
- 10.62 However, when balancing these matters against the benefits of the proposal, which include the provision of 55 residential units, additional accommodation for the elderly, a financial contributions towards Library facilities, your Officers have concluded that, on balance, the proposal should be recommended for approval on the basis of these remaining design concerns. These blocks are located on lower-lying areas of land when viewed from the A419, and would also be separated from the South Cerney Road by existing tree and hedgerow screening, and it is considered that their wider impact would be mitigated by these factors.

(e) Landscape and Trees

- 10.63 As stated above, Policy EN2 of the Local Plan states that development will be permitted which accords with the Design Code (Appendix D). Proposals should be of design quality that respects the character and distinctive appearance of the locality and should respond to its landscape setting with regard to proportion, density, grain, scale and form, as well as the architectural design of the buildings, and to the landscaping around them.

- 10.64 Policy EN4 of the Local Plan states that development will be permitted where it does not have a significant detrimental impact on the natural and historic landscape (including the tranquillity of the countryside) of Cotswold District or neighbouring areas. This policy requires that proposals will take account of landscape and historic landscape character, visual quality and local distinctiveness. They will be expected to enhance, restore and better manage the natural and historic landscape, and any significant landscape features and elements, including key views, settlement patterns and heritage assets.
- 10.65 Policy EN7 (Trees, Hedgerows & Woodlands) states that development will not be permitted that fails to conserve and enhance trees of high landscape, amenity, ecological or historical value, veteran trees, hedgerows of high landscape, amenity, ecological or historical value, and/or woodland of high landscape, amenity, ecological or historical value. Where trees, woodland or hedgerows are proposed to be removed as part of development, compensatory planting will be required.
- 10.66 The site is not located within a specifically protected landscape and is relatively well-contained due to land levels and existing boundary trees. Nevertheless, good quality landscaping is important to the overall quality of the proposed development, as required by Local Plan Policy EN2, and would also help to address paragraph 136 of the NPPF, which requires opportunities new tree planting.
- 10.67 Landscaping details have been provided, which show additional tree planting across the application site, including further planting along the northern boundary of the site, beyond which lie the dwellings at Preston Leigh. Amongst the tree species to be planted include field maple, oak, beech, silver birch, crab apple and cherry trees. These details are considered to be acceptable.
- 10.68 The entire site is covered by a 2006 area Tree Preservation Order, (TPO), which means that all trees growing at the time the TPO was made will be protected. There are trees around the northern and western boundaries that provide screening value, which are proposed to be retained.
- 10.69 The site specific tree that are proposed are considered to be acceptable in principle, although a condition is recommended requiring the submission of full details prior to the commencement of development.

(f) Residential Amenity

- 10.70 Policy EN2 and the Cotswold Design Code require consideration of the impact of development in terms of residential amenity, which is also referred to within paragraph 135 (f) of the NPPF.
- 10.71 The relationship between the proposed buildings and the Phase 1 development is considered to be acceptable. The only other properties affected are the dwellings at Preston Leigh, which is to the north of the site. All but one of these dwellings are beyond either the 22m (for 2-storey development) or 28m (for 3-storey development) distance stipulated for habitable windows within the Cotswold Design Code, notwithstanding the protected trees along the boundary and additional proposed tree planting.
- 10.72 The one dwelling that is within this distance of No. 6, which is the westernmost of these properties, and closest to Block 4 within the Phase 2 development. This dwelling is approximately 20m distant from the nearest 3-storey high part of Block 4, albeit that the orientation of No. 6 is such that the rear of the dwelling faces away from the application site. The side elevation to No. 6 has two windows, a secondary clear glazed window to the ground floor, and an obscure glazed first floor window.
- 10.73 With regard to Block 4, as originally proposed, there would have been open-sided terraces on each floor facing towards this neighbouring dwelling, notwithstanding the existing tree screening. However, these sides have now been enclosed, such that the only view out from these terraced areas would be towards Block 3 to the east.
- 10.74 Furthermore, shadow diagrams have been provided to demonstrate that there would be no material impact upon the amenities of these neighbouring properties to the north arising from the proposed development.
- 10.75 Therefore, it is considered that the proposal is acceptable with regard to any impact upon residential amenity, having regard to Policy EN2 of the Local Plan and paragraph 135 (f) of the NPPF.

(g) Biodiversity

- 10.76 Section 15 of the NPPF seeks to ensure development minimises the impact on and provides net gains for biodiversity.

- 10.77 Local Plan Policy EN8 supports development that conserves and enhances biodiversity and geodiversity, providing net gains where possible.
- 10.78 Policy EN9 requires consideration of the impact of development proposals upon internationally designated wildlife sites.
- 10.79 With regard to biodiversity net gain, the applicant has demonstrated a measurable net gain in habitat units (95.93%) can be achieved on-site. A 10-year landscape ecological management plan is recommended to secure appropriate establishment and on-going monitoring and management details, along with appropriate remedial measures if habitats fail. Bird and bat boxes are also recommended, although these features do not count towards a measurable net gain, the incorporation of these features will provide opportunities for protected and notable species on-site and deliver net gains in accordance with Chapter 15 of the NPPF and Local Plan Policy EN8.
- 10.80 In respect of protected and notable species, the preliminary ecological appraisal has confirmed the site provides limited/negligible opportunities for notable and protected species. Despite this, woodland north and west of the application site will provide opportunities for protected and notable species therefore, site clearance and construction works should adhere to the precautionary mitigation measures detailed in the Council's precautionary method of working document.
- 10.81 In addition, the woodland provides suitable habitat for commuting nocturnal species namely, European protected bat species. As a result, a lighting condition is recommended, ensuring any external lighting is sensitively designed to minimise light spill towards the woodland parcels and newly erected bat boxes. Conditions are recommended to this effect.
- 10.82 The site is also within the Outer Zone of the North Meadow Special Area of Conservation, wherein a financial contribution is required to be paid to mitigate any potential impact upon this internationally designated wildlife site. The payment for this contribution is still awaited, therefore in the event of planning permission being granted, the decision notice may not be issued until this payment has been received, as per the recommendation. No objection is raised by either the Senior Biodiversity Officer or Natural England subject to this mitigation being made.

(h) Highways

- 10.83 Section 9 of the NPPF advocates sustainable transport, including safe and suitable accesses to all sites for all people. However, it also makes it clear that development should only be prevented or refused on highway grounds where there would be an unacceptable impact on highway safety or the residual cumulative impacts on the road network are 'severe'.
- 10.84 Local Plan Policy INF3 (Sustainable Transport) supports development that actively supports travel choices with priority to walking and cycling and access provided to public transport. Links with green infrastructure, PROWs and wider cycle networks should be provided. Development that would have a detrimental effect on the amenity of existing infrastructure will not be permitted.
- 10.85 Local Plan Policy INF4 (Highway Safety) supports development that is well integrated with the existing transport network and beyond the application site, avoiding severance resulting from mitigation and severe impact upon the highway network. Developments that create safe and secure layouts and access will be permitted.
- 10.86 Local Plan Policy INF5 (Parking Provision) seeks to ensure sufficient parking provision to manage the local road network.
- 10.87 The proposed additional residential units would use the existing entrance off the A419 Cirencester Road which serves Phase 1, with a total of 68 car parking spaces shown, including 9 disabled parking spaces.
- 10.88 The Highway Authority are raising no objection to the proposal, provided that the applicant submits a Travel Plan so as to promote alternative modes of transport to the private car, as well as a 'car club' for residents. This is also subject to a Legal Agreement, with the payment of a financial contribution (£30,320) in addition to a Monitoring Fee (£5000).
- 10.89 Therefore, the proposal is considered to accord with Policies INF4 and INF5 of the Local Plan, and Section 9 of the NPPF.

(i) Library Contribution

- 10.90 The County Council has requested a financial contribution towards Library facilities totalling £10,780. Should planning permission be granted, this will be secured by way of a S.106 Legal Agreement.

(j) CIL

10.91 This application is CIL liable and there will be a CIL charge payable. Section 143 of the Localism Act 2011 states that any financial sum that an authority has received, will, or could receive, in payment of CIL is a material 'local finance consideration' in planning decisions. As this development is providing affordable housing, the applicant may apply for an exemption for those dwellings.

11. Conclusion:

11.1 Notwithstanding the outstanding concerns raised by the Senior Conservation and Design Officer, with particular regard to Blocks 5 and 6, when considering the planning balance, including the benefits that would arise from the proposal, including additional housing, accommodation for the elderly, biodiversity net gain, and a contribution towards Library facilities, at a time when the Local Planning Authority is unable to demonstrate a 5-year housing land supply, it is considered that the proposal would accord with the provisions of the Development Plan, alongside the NPPF, neither of which are outweighed by other material planning considerations.

11.2 The proposed development is considered to accord with the policies in the draft NPPF.

11.3 The recommendation is to grant planning permission, subject to the completion of the Legal Agreement to secure the payment of a financial contribution towards library facilities and a Travel Plan. Also awaited is the payment of the financial contribution to mitigate the impact of the development upon the North Meadow and Clattinger Farm SAC.

12. Proposed Conditions:

1. The development shall be started by 3 years from the date of this decision notice.

Reason: To comply with the requirements of Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2. The development hereby approved shall be carried out in accordance with the following drawing numbers: 155388-STL-XX-00-DR-A-10005 P16; 155388-STL-XX-00-DR-A-10006 P16; 155388-STL-XX-00-DR-A-10575 P15; 155388_10000_P19;

155388_10001_P19 ; 155388_10002_P19; 155388_10003_P19; 155388_10004_P19; 155388_10008_P19; 155388_10500_P17; 155388_10501_P17; 155388_10510_P17; 155388_10511_P17; 155388_10512_P17; 155388_10520_P17; 155388_10521_P17; 155388_10522_P17; 155388_10530_P17; 155388_10531_P17; 155388_10532_P17; 155388_10533_P17; 155388_10540_P17; 155388_10541_P17; 155388_10542_P17; 155388_10550_P17; 155388_10551_P17; 155388_10552_P17; 155388_10560_P16; 155388_10561_P16; 155388_10562_P16; 155388_10563_P16; 155388_30000_P19; 841-ALA-00-XX-D-L-1001 REV P04; 841-ALA-00-XX-D-L-1002 REV P06; 841-ALA-00-XX-D-L-1003 REV P03; 841-ALA-00-XX-D-L-1004 REV P03; 841-ALA-00-XX-D-L-1007 REV P03; 841-ALA-00-XX-D-L-1008 REV P03; 841-ALA-00-XX-D-L-1009 REV P04; 841-ALA-00-XX-D-L-1010 REV P04; 841-ALA-00-XX-D-L-1011 REV P03; 841-ALA-00-XX-D-L-2004 REV P01; 841-ALA-00-XX-SP-L-0001 REV P02; 841-ALA-ZZ-ZZ-D-L-1012 REV P03; 841-ALA-ZZ-ZZ-D-L-1013 REV P03; 841-ALA-ZZ-ZZ-D-L-1101 REV P02; 841-ALA-ZZ-ZZ-D-L-1102 REV P02 and 841-ALA-ZZ-ZZ-D-L-1103 REV P02.

Reason: For purposes of clarity and for the avoidance of doubt, in accordance with the National Planning Policy Framework.

3. Prior to the construction of any external wall of the development hereby approved, samples of the proposed walling materials to include natural Cotswold stone to Block 1, artificial Cotswold stone to the remainder of the buildings, render and timber boarding, shall be submitted to and approved in writing by the Local Planning Authority and only the approved materials shall be used.

Reason: To ensure that, in accordance with Cotswold District Local Plan Policy EN2, the development will be constructed of materials of a type, colour, texture and quality that will be appropriate to the site and its surroundings.

4. Prior to the construction of any external wall of the development hereby approved, samples of the proposed roofing materials to include natural blue slates, artificial Cotswold stone slates and metal roofing material samples for flat roofed elements, including bays and dormers, shall be submitted to and approved in writing by the Local Planning Authority and only the approved materials shall be used.

The artificial Cotswold stone slates shall be laid in diminishing courses.

Reason: To ensure that, in accordance with Cotswold District Local Plan Policy EN2, the development will be constructed of materials of a type, colour, texture and quality that will be appropriate to the site and its surroundings.

5. Prior to the construction of any external wall of the development hereby approved, a sample panel of walling of at least one metre square in size showing the

proposed stone colour, coursing, bonding, treatment of corners, method of pointing and mix and colour of mortar shall be erected on the site and subsequently approved in writing by the Local Planning Authority and the walls shall be constructed only in the same way as the approved panel. The panel shall be retained on site until the completion of the development.

Reason: To ensure that in accordance with Cotswold District Local Plan Policy EN2, the development will be constructed of materials of a type, colour, texture and quality and in a manner appropriate to the site and its surroundings. Retention of the sample panel on site during the work will help to ensure consistency.

6. Prior to the construction of any external wall of the development hereby approved, a sample panel of boundary walling of at least one metre square in size showing the proposed stone colour, coursing, bonding, treatment of corners, method of pointing and mix and colour of mortar shall be erected on the site and subsequently approved in writing by the Local Planning Authority and the walls shall be constructed only in the same way as the approved panel. The panel shall be retained on site until the completion of the development.

Reason: To ensure that in accordance with Cotswold District Local Plan Policy EN2, the development will be constructed of materials of a type, colour, texture and quality and in a manner appropriate to the site and its surroundings. Retention of the sample panel on site during the work will help to ensure consistency.

7. Prior to the construction of any external wall of the development hereby approved, a sample panel of the timber panelling of at least one metre square in size showing the size, shape and arrangement of timber boards, treatment of corners shall be erected on site and subsequently approved in writing by the Local Planning Authority. The timber panelling shall be constructed only in the same way as the approved panel. The panel shall be retained on site until the completion of the development.

Reason: To ensure that in accordance with Cotswold District Local Plan Policy EN2, the development will be constructed of materials of a type, colour, texture and quality and in a manner appropriate to the site and its surroundings. Retention of the sample panel on site during the work will help to ensure consistency.

8. No external woodwork shall be installed in the development hereby approved, until a sample of the external woodwork finished in the proposed colour has first been submitted to and approved in writing by the Local Planning Authority. The external woodwork shall be finished fully in accordance with the approved details within one

month of its installation and shall be retained as such thereafter unless a similar alternative is first agreed in writing by the Local Planning Authority.

Reason: To ensure that, in accordance with Cotswold District Local Plan Policy EN2, the development will be constructed of materials of a type, colour, texture and quality that will be appropriate to the site and its surroundings.

9. Prior to the insertion of any doors, screens or windows (including bay windows and dormer windows) hereby approved their design details shall be submitted to and approved in writing by the Local Planning Authority. The design details shall be accompanied by drawings to a minimal scale of 1:5 with full size moulding cross section profiles, elevations and sections to show window head, surround and cill, manner of opening, window joinery design details including glazing bars, materials and finish and extent of recess within the openings. The development shall be carried out in accordance with the approved details and retained thereafter.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policy EN2.

10. No eaves, ridges or verges, parapets, rooflights, flues or vents hereby approved shall be constructed until their design and materials/finishes have been submitted to and improved in writing by the Local Planning Authority. The design and details shall be accompanied by drawings to a minimum scale of 1:5 with full moulding cross sectional profiles, elevations and sections. The development shall only be carried out in accordance with the approved details and retained as such at all times.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policy EN2.

11. No bays, balconies, dormers, porches, canopies, parapets, or chimneys hereby approved shall be constructed until their design and materials/finishes have been submitted to and improved in writing by the Local Planning Authority. The design and details shall be accompanied by drawings to a minimum scale of 1:5 with full moulding cross sectional profiles, elevations and sections. The development shall only be carried out in accordance with the approved details and retained as such at all times.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policy EN2.

12. Prior to installation, design details for rainwater goods including materials and finish shall be submitted to and approved in writing by the Local Planning Authority. The design and details shall be accompanied by drawings to a minimum scale of 1:5

with full moulding cross sectional profiles, elevations and sections. The development shall only be carried out in accordance with the approved details and retained as such at all times.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policy EN2.

13. Prior to installation, design details for rooflights and solar panels including materials and finish shall be submitted to and approved in writing by the Local Planning Authority. The design and details shall be accompanied by drawings to a minimum scale of 1:5 with full moulding cross sectional profiles, elevations and sections. The development shall only be carried out in accordance with the approved details and retained as such at all times.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policy EN2.

14. The new rooflights shall be of a design which, when installed, shall not project forward of the roof slope in which the rooflights are located and shall be permanently retained as such thereafter.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policy EN2.

15. Prior to installation, design details shall be submitted to and approved in writing by the Local Planning Authority to include the materials and finish for gates, railings and fences. The design and details shall be accompanied by drawings to a minimum scale of 1:5 with full moulding cross sectional profiles, elevations and sections. The development shall only be carried out in accordance with the approved details and retained as such at all times.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policy EN2.

16. No bargeboards or eaves fascia shall be used in the proposed development.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policy EN2.

17. All door and window frames shall be recessed a minimum of 75mm into the external walls of the building and shall be permanently retained as such thereafter.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policy EN2.

18. Prior to installation, design details, materials and finishes of the bin and mobility scooter stores shall be submitted to and approved in writing by the Local Planning Authority. The design and details shall be accompanied by drawings to a minimum scale of 1:5 with full moulding cross sectional profiles, elevations and sections. The development shall only be carried out in accordance with the approved details and retained as such at all times.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policy EN2.

19. Notwithstanding the submitted details, prior to the first use/occupation of the development hereby approved, a comprehensive landscape scheme shall be approved in writing by the Local Planning Authority. The scheme must show the location, size and condition of all existing trees and hedgerows on and adjoining the land and identify those to be retained, together with measures for their protection during construction work. It must show details of all planting areas, tree and plant species, numbers and planting sizes. The proposed means of enclosure and screening should also be included, together with details of any mounding, walls and fences and hard surface materials to be used throughout the proposed development.

Reason: To ensure the development is completed in a manner that is sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policy EN2.

20. The entire landscaping scheme shall be completed by the end of the planting season immediately following the completion of the development or the site being brought into use, whichever is the sooner.

Reason: To ensure that the landscaping is carried out and to enable the planting to begin to become established at the earliest stage practical and thereby achieving the objective of Cotswold District Local Plan Policy EN4.

21. Any trees or plants shown on the approved landscaping scheme to be planted or retained which die, are removed, are damaged or become diseased, or grassed areas which become eroded or damaged, within 5 years of the completion of the approved landscaping scheme, shall be replaced by the end of the next planting season. Replacement trees and plants shall be of the same size and species as those lost, unless the Local Planning Authority approves alternatives in writing.

Reason: To ensure that the planting becomes established and thereby achieves the objective of Cotswold District Local Plan Policy EN2.

22. A 10-year Landscape and Ecological Management Plan (LEMP) shall be submitted to and approved in writing by the Local Planning Authority prior to any above ground works of the development hereby approved being undertaken. The plan shall be prepared in accordance with the principles set out in the Biodiversity Gain Plan and must include, but not necessarily be limited to, the following information:

- i. Description and evaluation of features to be managed, including locations shown on a site map;
- ii. Establishment details, including preparation of the land;
- iii. Landscape and ecological trends and constraints on site that might influence management;
- iv. Aims and objectives of management, including ensuring the delivery of at least a 10% net gain in habitat units;
- v. Appropriate management options for achieving the aims and objectives;
- vi. Prescriptions for all management actions;
- vii. A work schedule matrix (i.e. an annual work plan) capable of being rolled forward over 5- or 10-year periods;
- viii. Details of the body or organisation responsible for the implementation of the plan;
- ix. Ongoing monitoring of delivery of the habitat enhancement and creation details to achieve net gain as well as details of possible remedial measures that might need to be put in place; and
- x. Timeframe for reviewing the plan.

The LEMP shall be implemented in accordance with the approved details and all habitats shall be retained in that manner thereafter. Notice in writing shall be given to the Council when the habitat creation and enhancement works as set out in the Biodiversity Gain Plan have commenced and once all habitat creation and enhancements have been completed.

Reason: To secure the delivery of at least a 10% biodiversity net gain through successful establishment and management of all newly created and enhanced habitats in accordance with Schedule 7A of the Town and Country Planning Act 1990 (as inserted by Schedule 14 of the Environment Act 2021), paragraphs 187, 192 and 193 of the NPPF, and Local Plan Policy EN8.

23. Prior to the commencement of the development hereby approved (including demolition and all preparatory work), a scheme for the protection of retained trees, in accordance with BS5837:2012, including a tree protection plan(s) (TPP) and an

arboricultural method statement (AMS) shall be submitted to and approved in writing by the Local Planning Authority.

Specific issues to be dealt with in the TPP and AMS:

- a) Full details of any facilitation pruning;
- b) Location and installation of services, utilities and drainage;
- c) Details of construction within the RPA or that may impact on the retained trees;
- d) A full specification for the construction of any roads, parking areas and hard surfacing, including details of the no dig-specification and extent of the areas of the roads, parking areas and hard surfacing to be constructed using a nodig specification. Details shall include relevant sections through them;
- e) Detailed levels and cross-sections to show that the raised levels of surfacing, where the installation of no-dig surfacing within RPAs is proposed, demonstrating that they can be accommodated where they meet with any adjacent hard surfacing or structures;
- f) A specification for protective fencing to safeguard trees during both demolition and construction phases and a plan indicating the alignment of the protective fencing;
- g) Tree protection during construction indicated on the TPP with construction activities clearly identified as prohibited in this area;
- h) Details of site access, temporary parking, on site welfare facilities, loading, unloading and storage of equipment, materials, fuels, waste as well as any areas to be used for concrete mixing and fires;
- i) Details of any boundary treatments within RPAs;
- j) Methodology and detailed assessment of any root pruning;
- k) Details of arboricultural supervision and inspection by a suitably qualified arboriculturist;
- l) Methods to improve the rooting environment for retained and proposed trees and landscaping.

The development thereafter shall be implemented in strict accordance with the approved details.

Reason: Required prior to the commencement of development to satisfy the Local Planning Authority that the trees to be retained will not be damaged during demolition or construction and to protect and enhance the appearance and character of the site and locality, in accordance with Policies EN1 and EN7 of the Cotswold District Local Plan and pursuant of section 197 of the Town and Country Planning Act 1990.

24. Prior to any above ground works of the development hereby approved being undertaken, details of the provision of 4no. integrated swift bricks on north or east-facing elevations and 4no. integrated bat roosting features (e.g. bat tiles, bat boxes or

bat tubes) on south or southeast-facing elevations within the walls of the new buildings shall be submitted to the Local Planning Authority for approval. The details shall include a drawing showing the types of features, their locations and positions within the site, and a timetable for their provision. The approved details shall be implemented prior to first use of the development hereby approved and thereafter permanently retained.

Reason: To provide additional nesting and roosting opportunities for birds and bats as biodiversity enhancements in accordance with paragraphs 187, 192 and 193 of the National Planning Policy Framework, Policy EN8 of the Cotswold District Local Plan and Section 40 of the Natural Environment and Rural Communities Act 2006.

25. No development shall take place until a site-specific Construction Management Plan has been submitted to and been approved in writing by the Local Planning Authority. The plan must cover (at a minimum) noise, dust, vibration, odour, waste management, recycling, deliveries, site storage and site welfare. The plan must demonstrate the adoption and use of the best practicable means to reduce any adverse impact to the surrounding environment and community. No construction machinery shall be operated on the site before the 07:00 hours on weekdays, 08:30 hours on Saturdays, nor after 18:00 hours on weekdays and 13:00 hours on Saturdays, and at no time on Sundays, Bank or Public Holidays.

Reason: To protect the amenity of the locality, especially for people living and/or working nearby, in accordance with Cotswold District Local Plan EN15 and the provisions of the NPPF.

26. The development shall be undertaken in accordance with the recommendations in Cotswold District Council's Precautionary Method of Working document. All the recommendations shall be implemented in full, unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure that biodiversity is protected in accordance with the Wildlife and Countryside Act 1981 (as amended), Circular 06/2005, paragraphs 187, 192 and 193 the National Planning Policy Framework, Policy EN8 of the Cotswold District Local Plan 2011-2031 and in order for the Council to comply with Part 3 of the Natural Environment and Rural Communities Act 2006.

27. Prior to the installation of external lighting for the development hereby approved, an external lighting plan shall be submitted to and approved in writing by the Local Planning Authority. The details shall show how and where external lighting will be installed (including the type of lighting), so that it can be clearly demonstrated that areas to be lit will not disturb or prevent nocturnal species using wildlife corridors.

All external lighting shall be installed only in accordance with the specifications and locations set out in these details.

Reason: To protect nocturnal wildlife in accordance with the Conservation of Habitats and Species Regulations 2017 (as amended), the Wildlife and Countryside Act 1981 (as amended), Circular 06/2005, paragraphs 187, 192 and 193 of the National Planning Policy Framework (Chapter 15), Policy EN8 of the Cotswold District Local Plan 2011-2031 and in order for the Council to comply with Part 3 of the Natural Environment and Rural Communities Act 2006

28. The Residential Travel Plan hereby approved, dated [Insert] shall be implemented and monitored in accordance with the regime contained within the Plan. In the event of failing to meet the targets within the Plan a revised Plan shall be submitted to and approved in writing by the Local Planning Authority to address any shortfalls, and where necessary make provision for and promote improved sustainable forms of access to and from the site. The Plan thereafter shall be implemented and updated in agreement with the Local Planning Authority and thereafter implemented as amended.

Reason: To reduce vehicle movements and promote sustainable access in accordance with Policy INF3 of the Cotswold District Local Plan and Section 9 of the NPPF.

29. The Noise Impact Assessment (NIA) dated 15/8/2025, as hereby approved, shall be strictly adhered to. Noise mitigation measures outlined within the NIA shall be installed prior to the first beneficial use of the site, and thereafter maintained inline with the manufacturer's guidelines. This includes the installation of the stated "mixed mode ventilation systems to supplement the airflow through the trickle ventilators" to properties where compliance with the requirements of BS 8233: 2014 (Guidance on sound insulation and noise reduction for buildings) cannot be complied with, with windows open.

Reason: To protect the amenity of the locality, especially for people living and/or working nearby, in accordance with Cotswold District Local Plan EN15 and the provisions of the NPPF.

30. For purposes of clarity and the avoidance of doubt, the application site, as a planning unit, shall be used only for C2 (Residential Institutions) use, and for no other purpose, including any other purpose in Class C3 (Dwelling Houses), of the Schedule to the Town and Country Planning (Use Classes) Order 2010 or the equivalent to that Class in any statutory instrument amending or replacing the 2010 Order or any other change of use permitted by the Town and Country Planning (General Permitted Development) Order 2015.

Reason: It is essential that the Local Planning Authority retains control over the use of the development because of its rural location, in accordance with Cotswold District Local Plan Policy DS4 and the NPPF.

Informatives:

1. Please note that the proposed development set out in this application is liable for a charge under the Community Infrastructure Levy (CIL) Regulations 2010 (as amended). A CIL Liability Notice will be sent to the applicant, and any other person who has an interest in the land, under separate cover. The Liability Notice will contain details of the chargeable amount and how to claim exemption or relief, if appropriate. There are further details on this process on the Council's website at www.cotswold.gov.uk/CIL

2. The applicant is reminded that, under the Conservation of Habitats and Species Regulations 2017 (as amended) and the Wildlife and Countryside Act 1981 (as amended), it is an offence to (amongst other things): deliberately capture, disturb, injure, or kill great crested newts; damage or destroy a breeding or resting place; intentionally or recklessly obstruct access to a resting or sheltering place. Planning permission for a development does not provide a defence against prosecution under this legislation. Should great crested newts be found at any stage of the development works, then all works should cease, and a professional and/or suitably qualified and experienced ecologist (or Natural England) should be contacted for advice on any special precautions before continuing, including the need for a licence

3. The Developer is requested to erect a sign at the boundary of the new estate street with the nearest public highway providing the Developer's contact details and informing the public that the County Council is not responsible for the maintenance of the street.

4. **IMPORTANT: BIODIVERSITY NET GAIN CONDITION - DEVELOPMENT CANNOT COMMENCE UNTIL A BIODIVERSITY GAIN PLAN HAS BEEN SUBMITTED (AS A CONDITION COMPLIANCE APPLICATION) TO AND APPROVED BY COTSWOLD DISTRICT COUNCIL.**

The effect of paragraph 13 of Schedule 7A to the Town and Country Planning Act 1990 is that planning permission granted for the development of land in England is deemed to have been granted subject to the condition "(the biodiversity gain condition)" that development may not begin unless:

(a) a Biodiversity Gain Plan has been submitted to the planning authority, and

(b) the planning authority has approved the plan in writing.

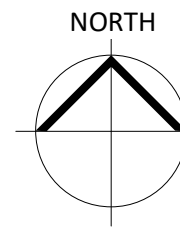
The planning authority, for the purposes of determining whether to approve a Biodiversity Gain Plan if one is required in respect of this permission would be Cotswold District Council. There are statutory exemptions and transitional arrangements which mean that the biodiversity gain condition does not always apply. Based on the information available this permission is considered to be one which will require the approval of a biodiversity gain plan before development is begun because none of the statutory exemptions or transitional arrangements are considered to apply. If the onsite habitats include irreplaceable habitats (within the meaning of the Biodiversity Gain Requirements (Irreplaceable Habitats) Regulations 2024) there are additional requirements for the content and approval of Biodiversity Gain Plans. Advice about how to prepare a Biodiversity Gain Plan and a template can be found at <https://www.gov.uk/guidance/submit-a-biodiversity-gain-plan>

The applicant will need to apply to approve the details reserved by the 10-year Landscape and Ecological Management Plan and the Biodiversity Gain Plan at the same time. A step-by-step guide on how to apply for approval of conditions can be found here:

<https://www.cotswold.gov.uk/planning-and-building/planning-permission/step-by-step-guideto-planning-permission/>

Cotswold District Council's Precautionary Method of Working document can be found here:

<https://www.cotswold.gov.uk/planning-and-building/wildlife-and-biodiversity/biodiversityspecifications/>



Disclaimer: Site boundaries have been based on Topographic information provided by the client. Stride Treglown will not take responsibility for any inaccuracy.

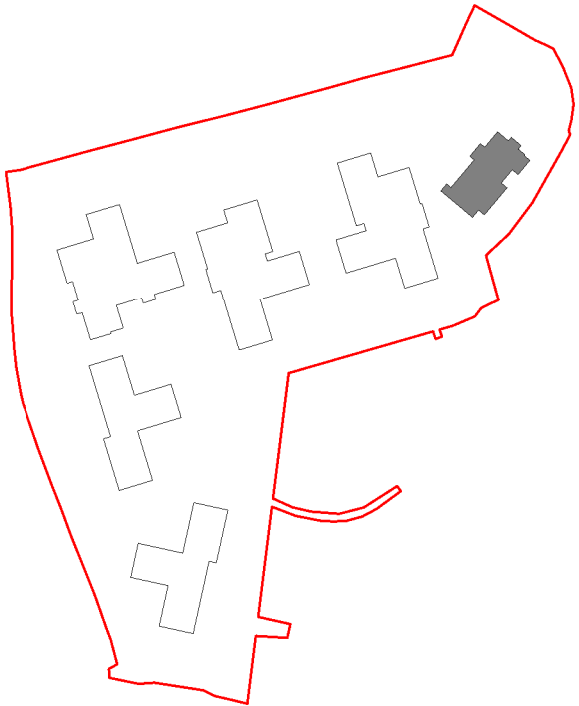
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PL	P18	15/05/25	Post Planning Draft Issue
PL	P16	22/08/24	Boundary Rev - PLANNING ISSUE
PL	P15	16/08/24	PLANNING ISSUE
[STATUS REV DATE DESCRIPTION]		[CLIENT REVISED BY CHECKED BY ORIGINATOR NO]	
CLIENT		NT	
Rangeford Villages		DP	
		155388	

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PROJECT
Siddington Park Phase 2
Cirencester

DRAWING TITLE
Proposed Site Plan

STATUS CODE		SCALE
PL : Authorized and accepted		1 : 250@A0
DRAWING USAGE:		
PROJECT - ORIGINATOR - VOLUME - LEVEL - TYPE - ROLE - CLASS - NUMBER	STATUS - REVISION	
155388-STL-XX-00-DR-A-ZZ-10008	PL_P19	

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Elevation 2
1 : 100



Elevation 3
1 : 100



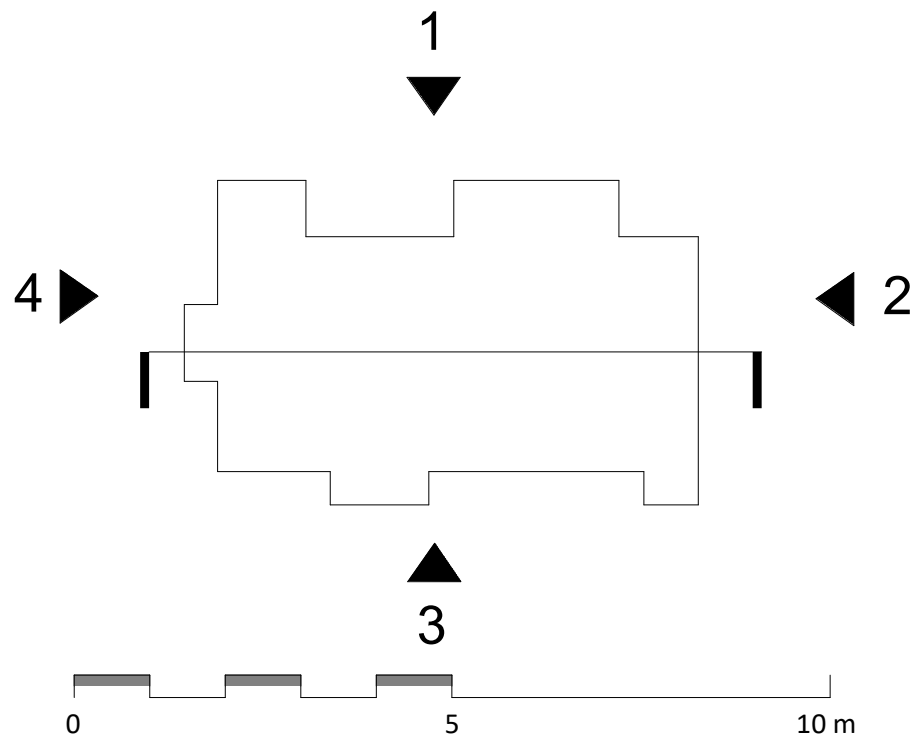
Elevation 4
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Section 1
1 : 100

- ① Cotswold style recon stone wall
- ② Cotswold style artificial slates
- ③ Treated timber slats
- ④ Powder coated composite window
- ⑤ Cotswold 'Dry stone wall'

KEY PLAN



PL	P17	30/05/25	Post Planning Submission Comments FINAL Issue
PL	P16	15/05/25	Post Submission Changes
PL	P15	16/08/24	PLANING ISSUE

STATUS	REV	DATE	DESCRIPTION	REVISED BY
CLIENT				SAH
Rangeford Villages				CHECKED BY
				DP
				ORIGINATOR NO
				155388

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PROJECT
Siddington Park Phase 2

DRAWING TITLE
GA Elevations and Sections - Block 1 Typical
Cottage

STATUS CODE
PL : Authorized and accepted
DRAFTING USAGE: **PLANNING**
SCALE
As indicated@A1

PROJECT - ORIGINATOR - VOLUME - LEVEL - TYPE - ROLE - CLASS - NUMBER	STATUS - REVISION
155388-STL-A-ZZ-DR-A-ZZ-10501	PL_P17

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STATUS	REV	DATE	DESCRIPTION
PL	P15	16/08/24	PLANNING ISSUE
PL	P16	15/05/25	Post Submission Changes
PL	P17	30/05/25	Post Planning Submission Comments FINAL Issue



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Elevation 4
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Elevation 3
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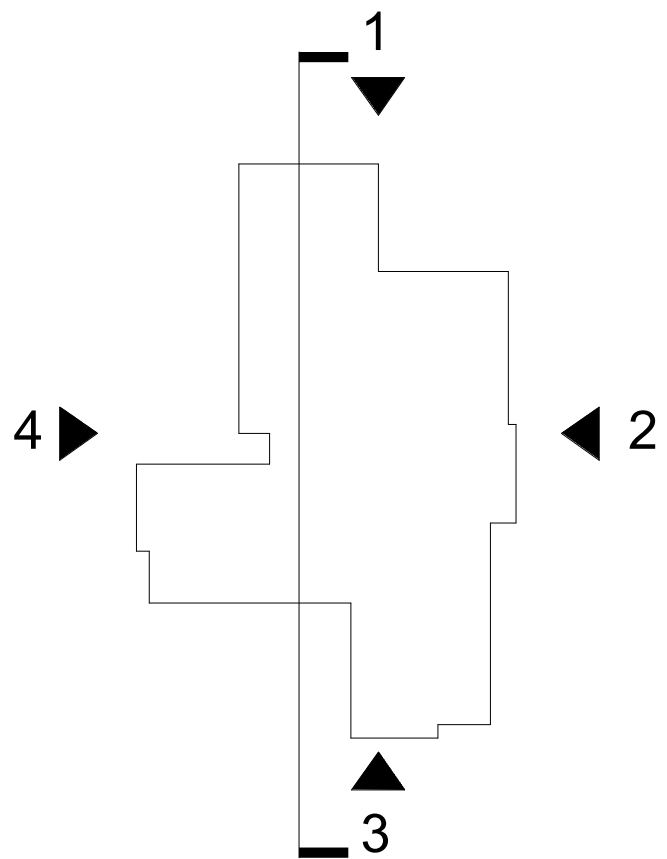


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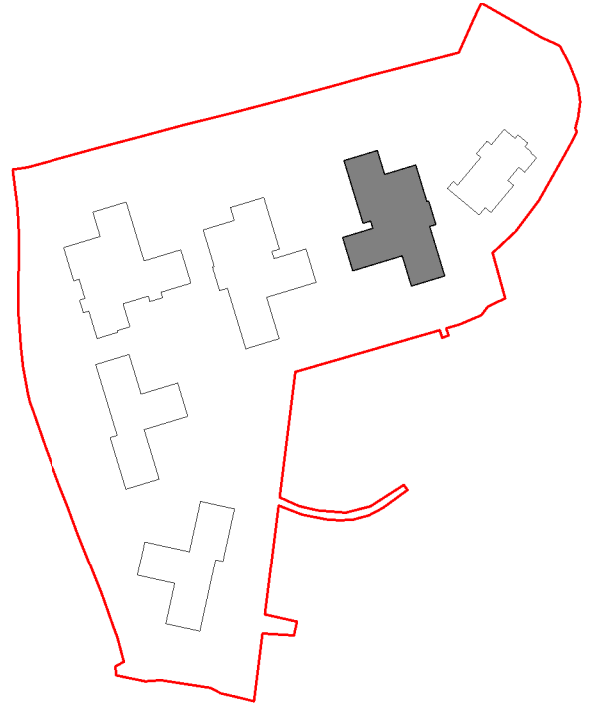


Section 1
1 : 100

KEY PLAN



- ① Cotswold style recon stone wall
- ② Cotswold style artificial slates
- ③ Treated timber slats
- ④ Metal balconies
- ⑤ Powder coated composite window



TITLE: GA Elevations and Section - Block 2
PROJECT: Siddington Park Phase 2
CLIENT: Rangeford Villages

REVISED BY: NT
CHECKED BY: DP
ORIGINATOR NO: 155388

SUITABILITY STATUS: PL : Authorized and accepted
DRAWING USAGE: PLANNING
SCALE: As indicated@A1

PROJECT-ORIGINATOR-VOLUME-LEVEL-TYPE-ROLE-CLASS.-NUMBER
155388-STL-02-ZZ-DR-A-ZZ-10512
STATUS_REVISION: PL_P17

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STATUS	REV	DATE	DESCRIPTION
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PL	P16	15/05/25	Post Submission Changes
PL	P17	30/05/25	Post Planning Submission Comments FINAL Issue



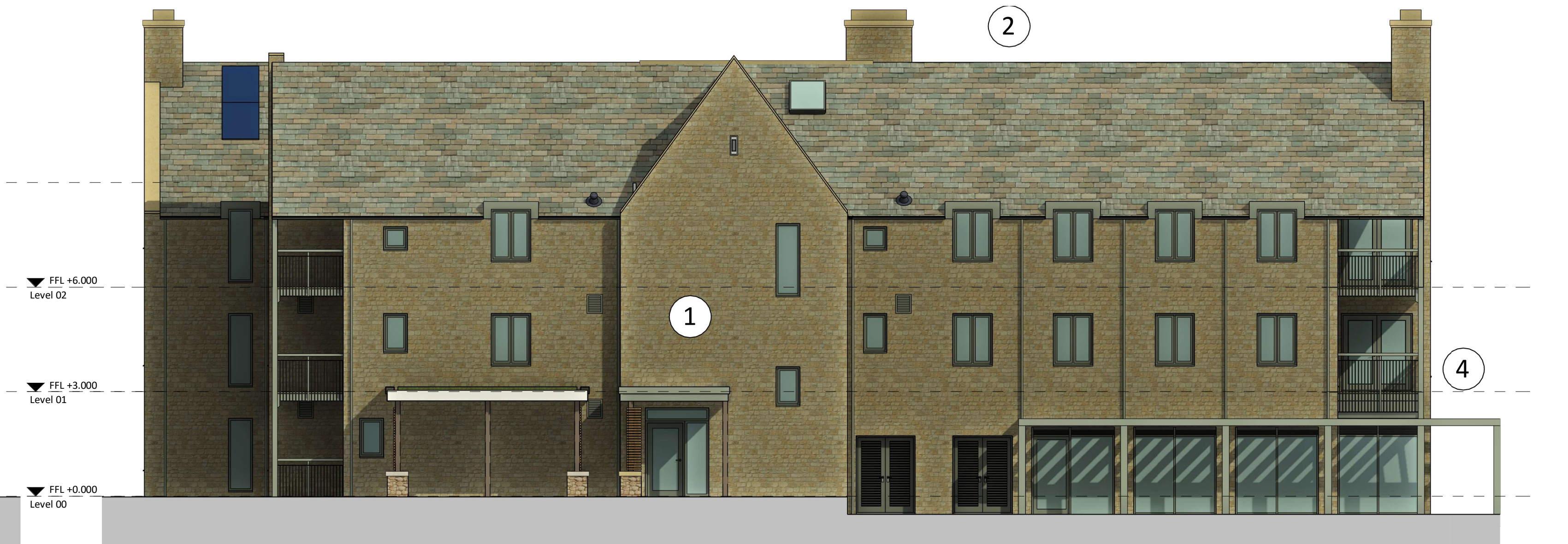
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Elevation 2
1 : 100



Elevation 3
1 : 100

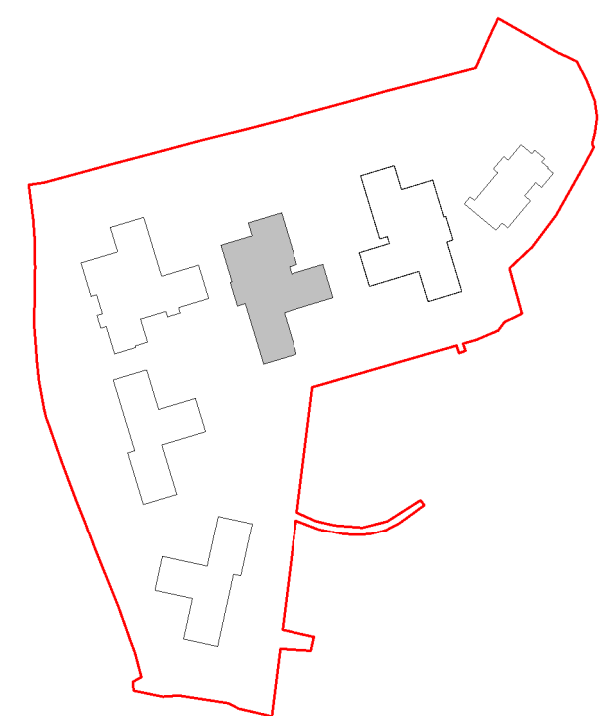
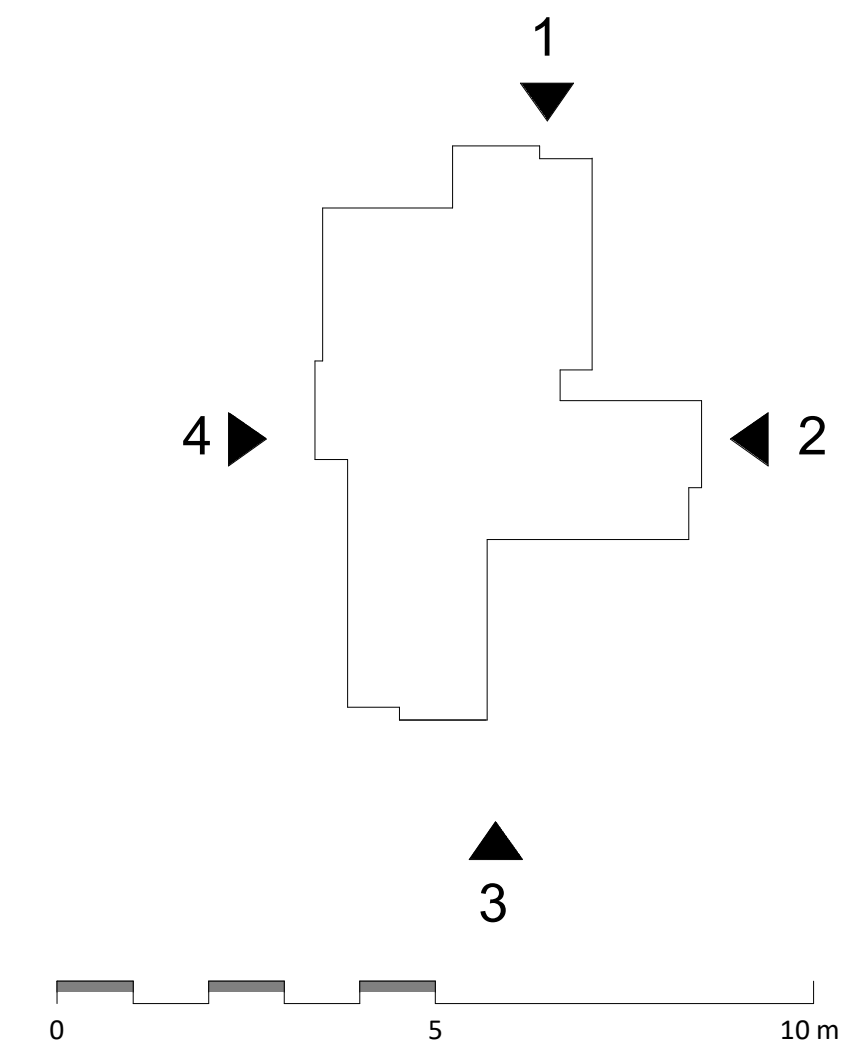


Elevation 4
1 : 100



Section 1
1 : 100

KEY PLAN



- ① Cotswold style recon stone wall
- ② Cotswold style artificial slates
- ③ Treated timber slats
- ④ Metal balconies
- ⑤ Powder coated composite window
- ⑥ Cotswold 'Dry stone wall'

TITLE: GA Elevations and Section - Block 3
PROJECT: Siddington Park Phase 2
CLIENT: Rangeford Villages

REVISED BY: NT
CHECKED BY: DP
ORIGINATOR NO: 155388

SUITABILITY STATUS: PL : Authorized and accepted
DRAWING USAGE: PLANNING
SCALE: As indicated@A1

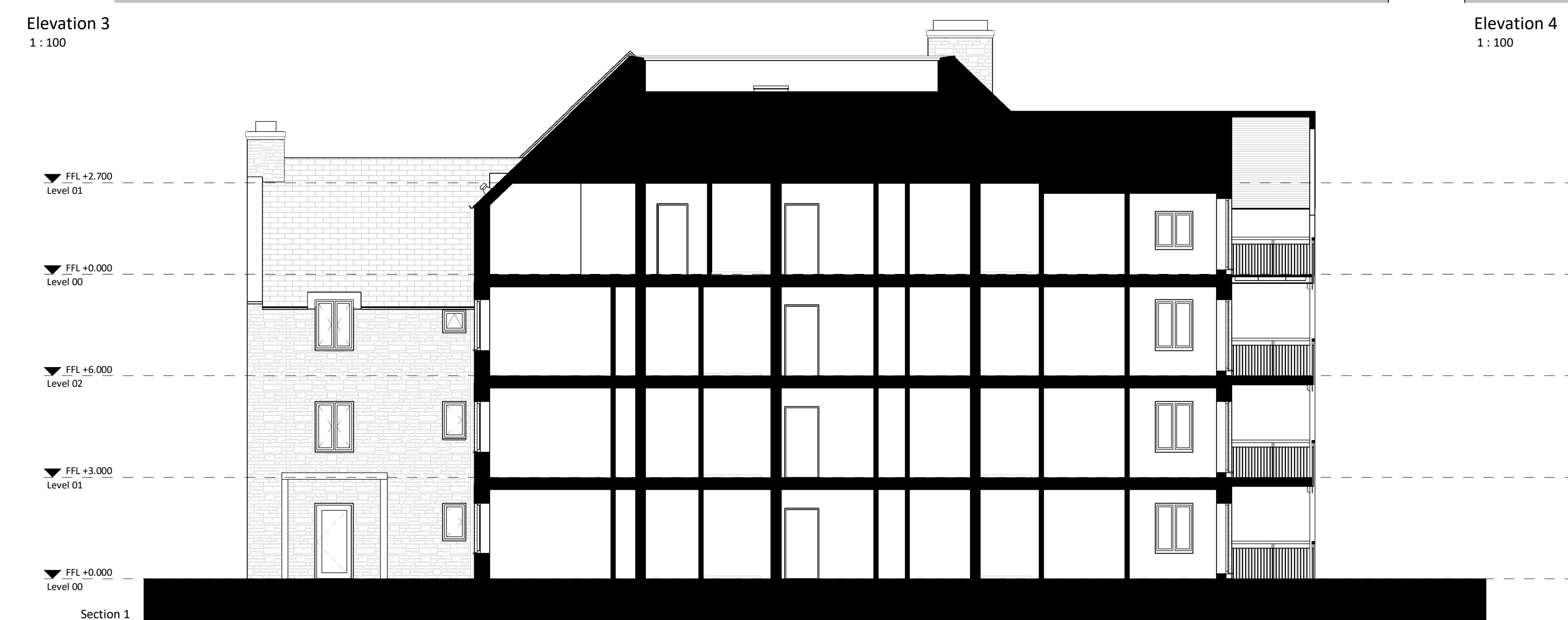
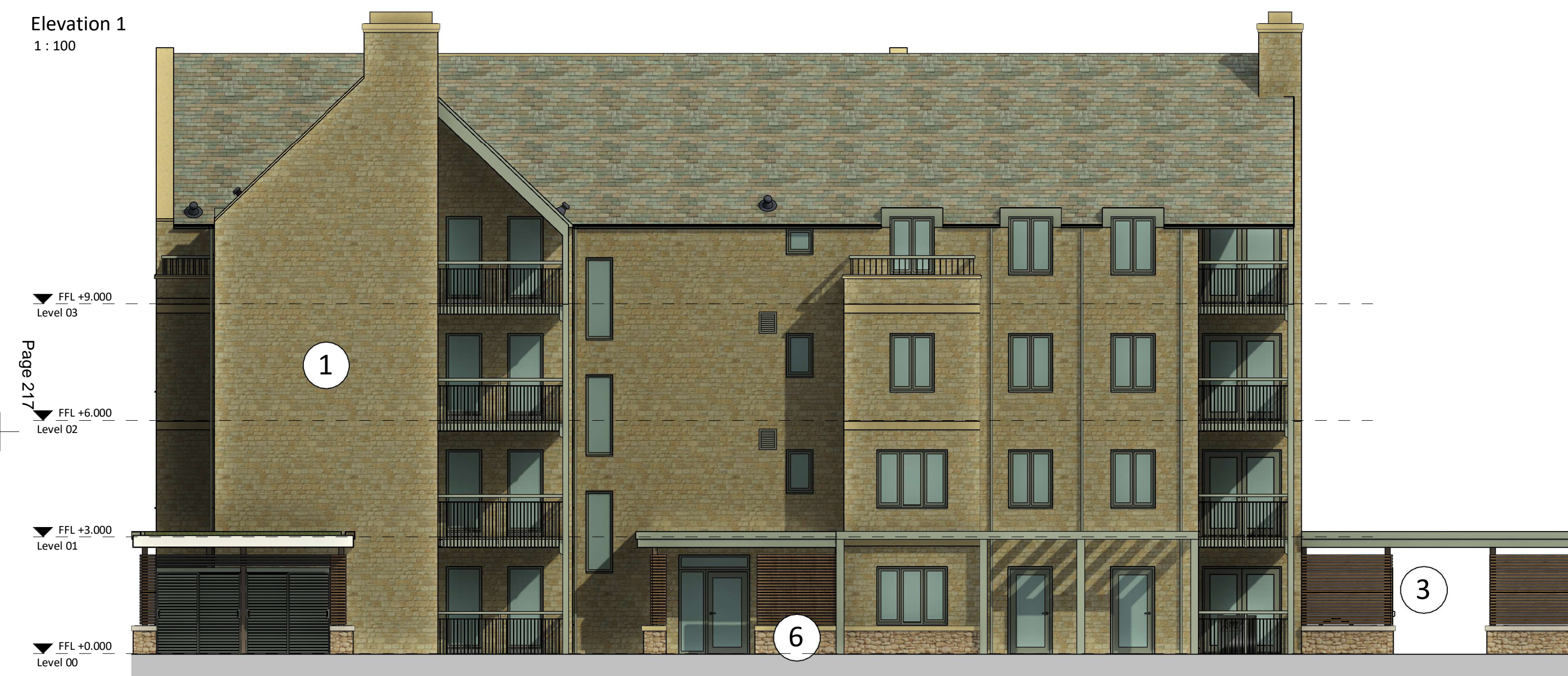
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155388-STL-B-ZZ-DR-A-ZZ-10522
STATUS_REVISION: PL_P17

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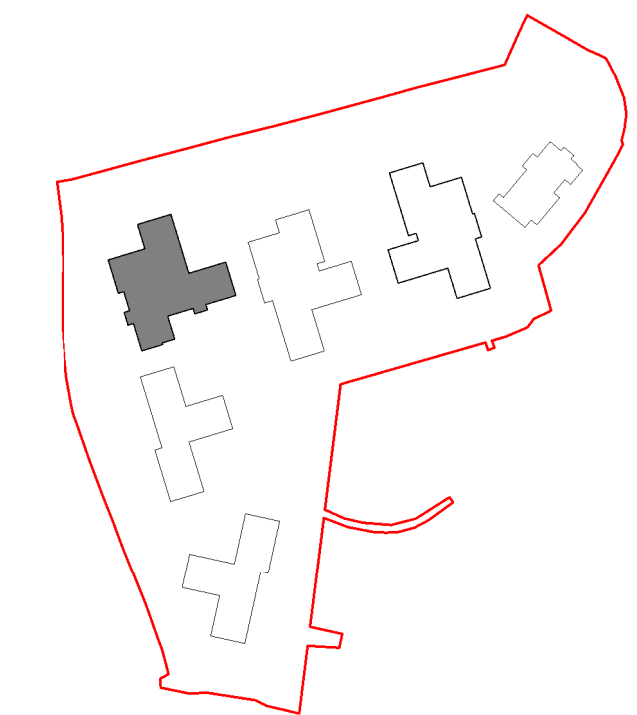
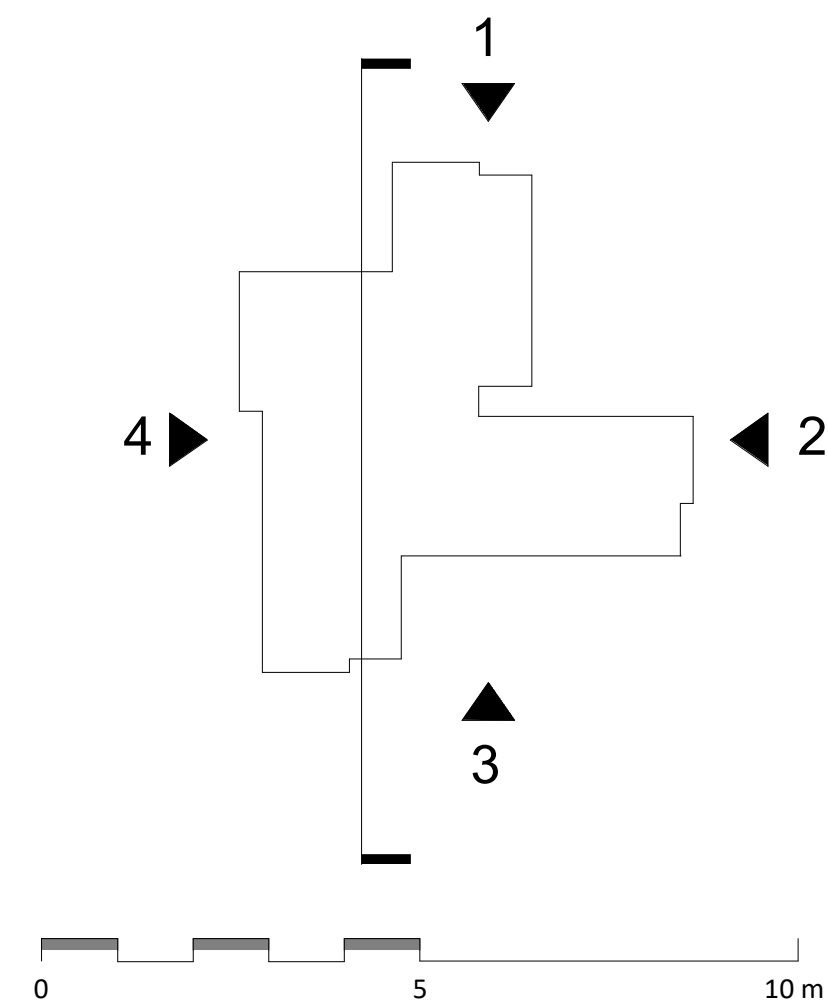
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STATUS	REV	DATE	DESCRIPTION
PL	P15	16/08/24	PLANNING ISSUE
PL	P16	15/05/25	Post Submission Changes
PL	P17	30/05/25	Post Planning Submission Comments FINAL Issue



KEY PLAN



- ① Cotswold style recon stone wall
- ② Cotswold style artificial slates
- ③ Treated timber slats
- ④ Metal balconies
- ⑤ Powder coated composite window
- ⑥ Cotswold 'dry stone wall'
- ⑦ Profiled metal screening and detailing to terraces

TITLE: GA Elevations and Section - Block 4
PROJECT: Siddington Park Phase 2
CLIENT: Rangeford Villages

REVISED BY: NT
CHECKED BY: DP
ORIGINATOR NO: 155388

SUITABILITY STATUS: PL : Authorized and accepted
DRAWING USAGE: PLANNING
SCALE: As indicated@A1

PROJECT-ORIGINATOR-VOLUME-LEVEL-TYPE-ROLE-CLASS-NUMBER
155388-STL-B-ZZ-DR-A-ZZ-10533
STATUS_REVISION: PL_P17

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1 : 100



Elevation 2
1 : 100



Elevation 3
1 : 100

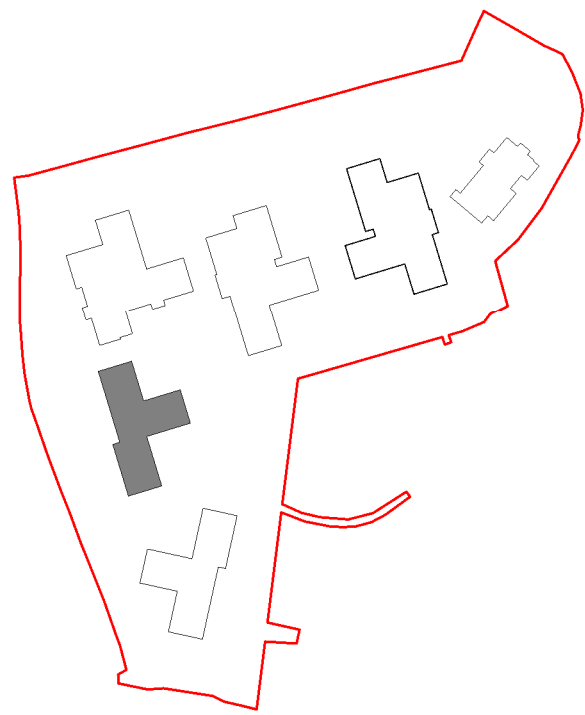
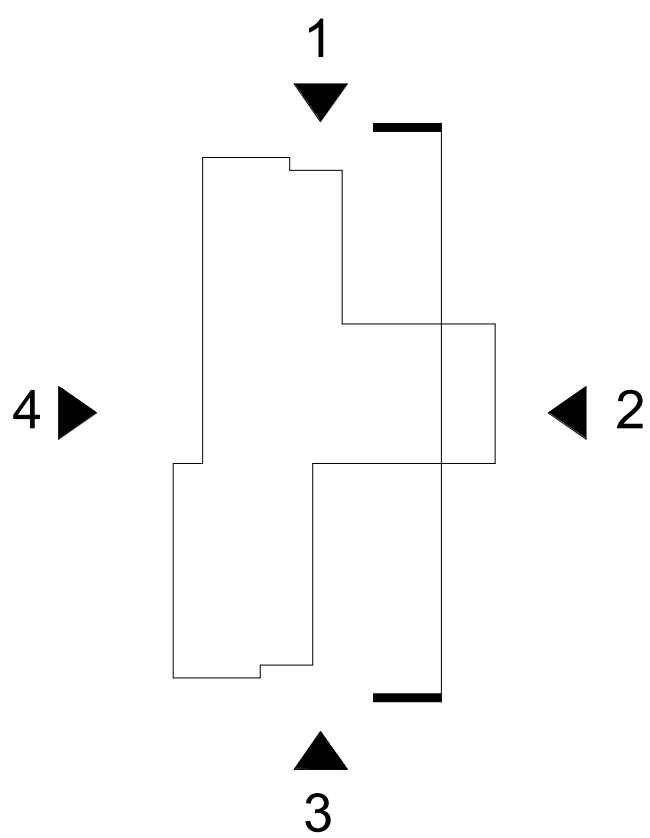


Elevation 4
1 : 100



Section 1
1 : 100

KEY PLAN



- ① Cotswold style recon stone wall
- ② Cotswold style artificial slates
- ③ Treated timber slats
- ④ Metal balconies
- ⑤ Powder coated composite window
- ⑥ Cotswold 'dry stone wall'

PL	P17	D30/05/25	Post Planning Submission Comments	FINAL	Issue
PL	P16	15/05/25	Post Submission Changes		
PL	P15	16/08/24	PLANING ISSUE		
STATUS	REV	DATE	DESCRIPTION		
CLIENT					REVISED BY SAH
Rangeford Villages					CHECKED BY DP
					ORIGINATOR NO 155388

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PROJECT
Siddington Park Phase 2

DRAWING TITLE
GA Elevations and Section - Block 5

STATUS CODE		SCALE
PL : Authorized and accepted		As indicated@A1
DRAWING USAGE: PLANNING		
PROJECT - ORIGINATOR - VOLUME - LEVEL - TYPE - ROLE - CLASS - NUMBER		STATUS _ REVISION
155388-STL-C-ZZ-DR-A-ZZ-10542		PL_P17

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Elevation 2
1 : 100



Elevation 3
1 : 100

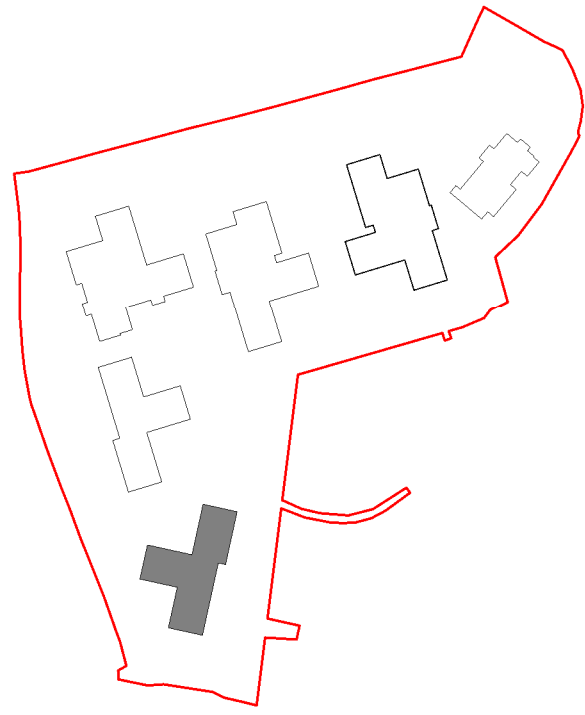
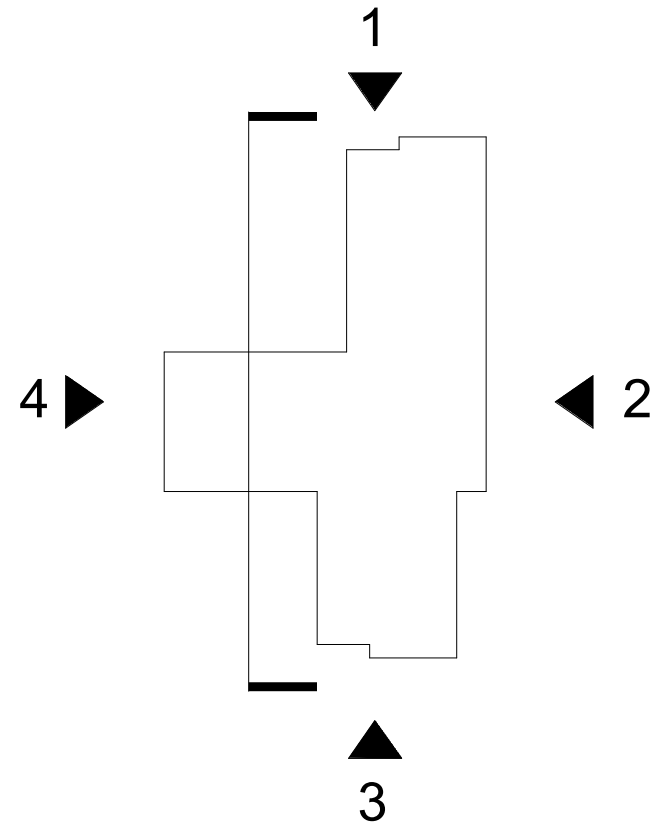


Elevation 4
1 : 100



Section 1
1 : 100

KEY PLAN



- 1 Cotswold style recon stone wall
- 2 Cotswold style artificial slates
- 3 Treated timber slats
- 4 Metal balconies
- 5 Powder coated composite window
- 6 Cotswold 'dry stone wall'

PL	P17	30/05/25	Post Planning Submission Comments FINAL Issue
PL	P16	15/05/25	Post Submission Changes
PL	P15	16/08/24	PLANNING ISSUE
STATUS	REV	DATE	DESCRIPTION
CLIENT			REVISD BY SAH
			CHECKED BY DP
			ORIGINATOR NO 155388

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PROJECT
Siddington Park Phase 2

DRAWING TITLE
GA Elevations and Section - Block 6

STATUS CODE	SCALE
PL : Authorized and accepted	As indicated@A1
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PROJECT - ORIGINATOR - VOLUME - LEVEL - TYPE - ROLE - CLASS - NUMBER	STATUS _ REVISION
155388-STL-C-ZZ-DR-A-ZZ-10552	PL_P17

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Note

1. Do not scale from this drawing
2. To be read in conjunction with Project Risk Register
3. To be read in conjunction with all other Landscape Architect's drawings

KEY

- Site**
- Site Boundary**
 - A** Vehicular Access
Connections points with wider retirement village
 - B** Car Parking Bays
Including blue badge parking
 - C** Pedestrian Crossing
Priority crossing points to encourage movement throughout site
 - D** Village Green
With a level lawn for activities and biodiverse planting
 - E** Communal dining area
Including reflection garden with biodiverse planting and dining furniture
 - F** Kitchen Garden
Including potting shed, greenhouse and outdoor edible planting
 - G** Terraces
To offer social spaces, seating and interactive growing beds
 - H** Proposed pedestrian access
From Tilias Grange and Willow Grange (Phase 1)
 - I** Communal Amenity Area
 - J** Emergency Vehicular access
 - K** Existing substations and equipment cabin retained
 - L** Maintenance Cabin
 - M** Owners Lounge External Patio

ID	RISK	MITIGATION	DATE MITIGATED
RESIDUAL PROJECT RISKS			

DATE	REV	DESCRIPTION OF REVISION	DRAWN BY	APPROVED BY
28/05/2025	P04	Issued for Planning	ZW	MR
20/05/2025	P03	Issued for DRAFT	MDS	MR
14/08/2024	P02	Updated following coordination with architect for planning	TJ	MR

STATUS

S2 - For Planning

ares
LANDSCAPE ARCHITECTS

CLIENT:
Rangeford Villages

PROJECT TITLE:
Siddington Park Phase 2

DRAWING TITLE:
Landscape Illustrative Masterplan

Ares Landscape Architects LTD
Formal House
60 St Georges Place
Cheltenham
GL50 3PN
t: 0114 276 2000
e: hello@aresdesign.co.uk
w: aresdesign.co.uk

DRAWING SCALE:	DRAWN BY:	DRAWN DATE:
NTS	MDS	10/05/2024
PAPER SIZE:	APPROVED BY:	ALA PROJECT CODE:
A1	MR	841
DRAWING NUMBER:	STATUS:	REVISION:
841-ALA-00-XX-D-L-1001	S2	P04

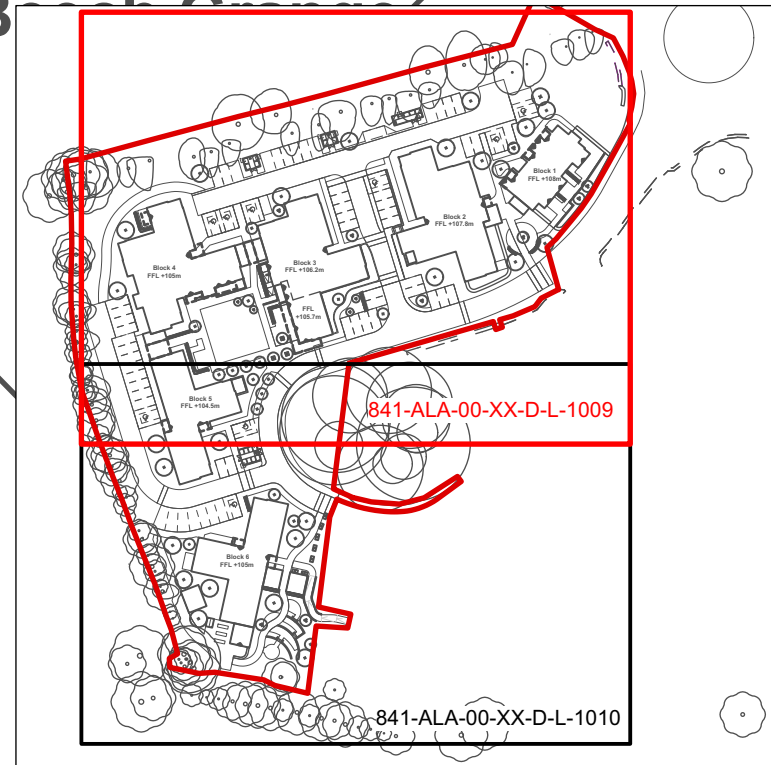
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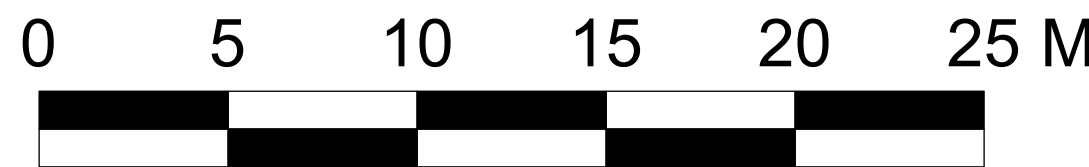
1. Do not scale from this drawing
2. To be read in conjunction with Project Risk Register
3. To be read in conjunction with all other Landscape Architect's drawings

Sit

	Planning Application Boundary
FFL +102.34m	Finished Floor Level
+ 102345mm	Proposed Level
+ 102345mm	Existing Level



Refer to drawing - 841-ALA-00-XX-D-L-1010



ID	RISK	MITIGATION	DATE MITIGATED

RESIDUAL PROJECT RISKS

9/05/2025	P04	Issued for Planning	ZW	MR	
0/05/2025	P03	Issued for DRAFT Updated following coordination with architect	MDS	MR	
4/08/2024	P02	Updated following coordination with architect; issued for planning	TJ	MR	
DATE	REV	DESCRIPTION OF REVISION	DRAWN BY	APPROVED BY	

REVISIONS

STATUS
S2 - For Planning



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e: hello@aresdesign.co.uk
w: aresdesign.co.uk

CLIENT :
Rangeford Villages

PROJECT TITLE :
Siddington Park Phase 2

DRAWING TITLE :
Levels Plan 1 of 2

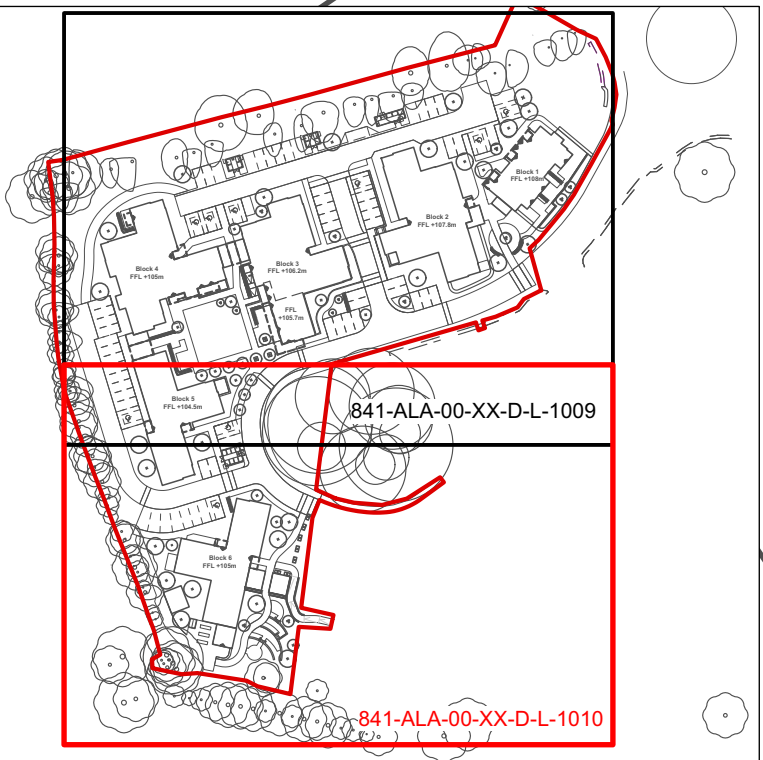
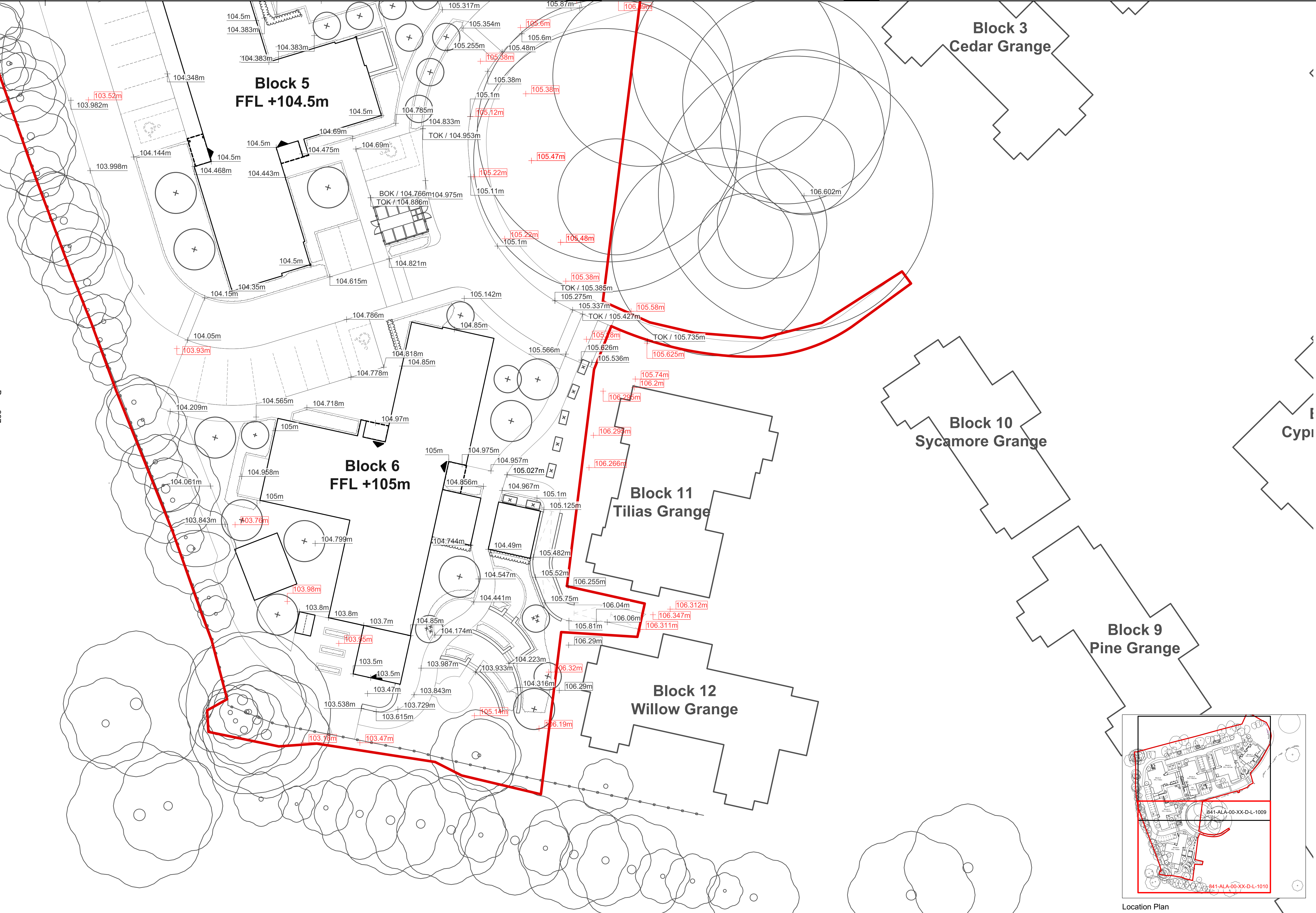
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A1	MR	841

DRAWING NUMBER :	STATUS :	REVISION :
841-ALA-00-XX-D-L-1009	S2	P04

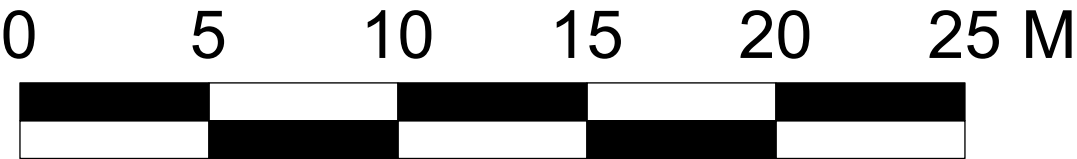
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Refer to drawing - 841-ALA-00-XX-D-L-1009



Location Plan



- Note**
- 1. Do not scale from this drawing
 - 2. To be read in conjunction with Project Risk Register
 - 3. To be read in conjunction with all other Landscape Architect's drawings

KEY

- Site**
- Planning Application Boundary
 - FFL +102.34m Finished Floor Level
 - + 102345mm Proposed Level
 - + 102345mm Existing Level

ID	RISK	MITIGATION	DATE MITIGATED
RESIDUAL PROJECT RISKS			

DATE	REV	DESCRIPTION OF REVISION	DRAWN BY	APPROVED BY
29/05/2025	P04	Issued for Planning	ZW	MR
20/05/2025	P03	Issued for DRAFT	MDS	MR
14/08/2024	P02	Updated following coordination with architect, issued for planning	TJ	MR

REVISIONS

STATUS
S2 - For Planning

ares
LANDSCAPE ARCHITECTS

Ares Landscape Architects LTD
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GL50 3PN
t: 0114 276 2000
e: hello@aresdesign.co.uk
w: aresdesign.co.uk

CLIENT:
Rangeford Villages

PROJECT TITLE:
Siddington Park Phase 2

DRAWING TITLE:
Levels Plan 2 of 2

DRAWING SCALE: 1:200
PAPER SIZE: A1

DRAWN BY: MDS
APPROVED BY: MR

DRAWN DATE: 10/05/2024
ALA PROJECT CODE: 841

DRAWING NUMBER: 841-ALA-00-XX-D-L-1010
STATUS: S2
REVISION: P04

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0.1

Winter Solstice
Shadow Study

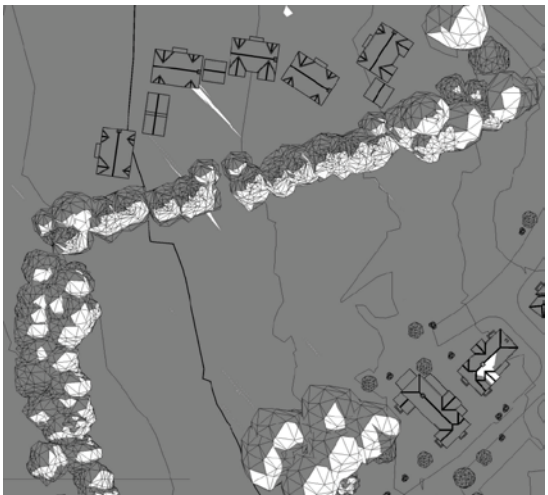
A subsequent shadow study has been carried out to understand the impact of the scheme changes on daylight and shadows during critical times of the year. This is highlight the limited effect of the development on properties to the North.

Key dates used remain as follows:

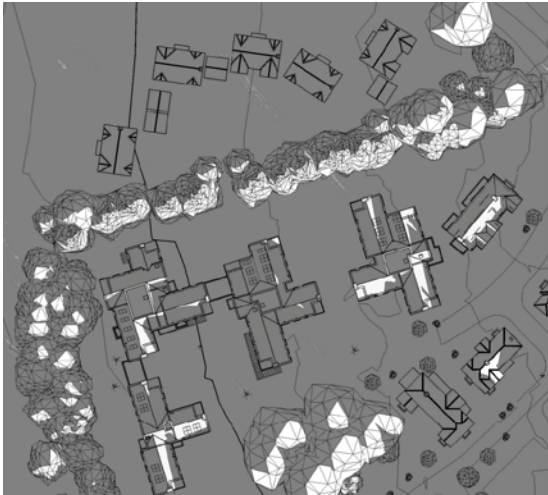
Winter Solstice (December 21) - right

Spring Equinox (March 21)

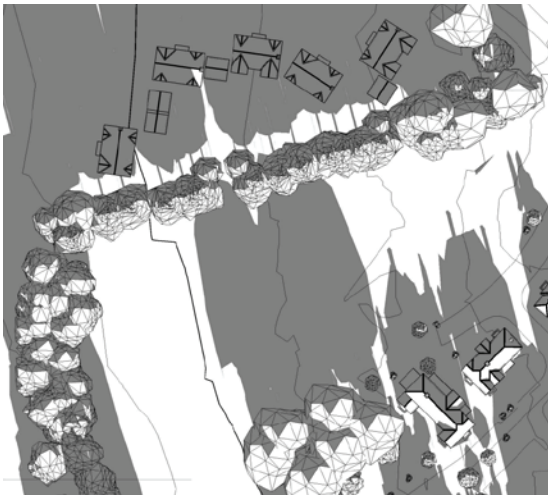
Summer Solstice (June 21).



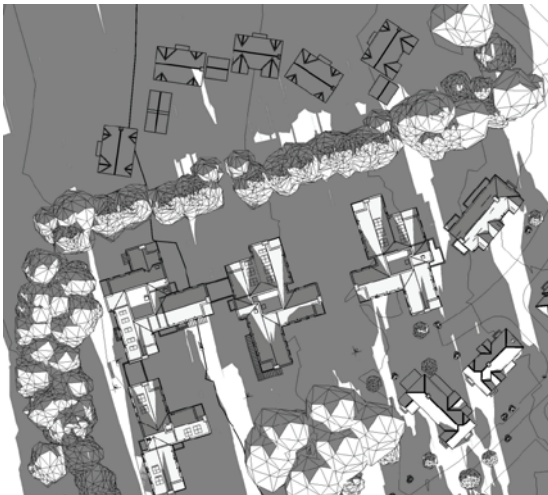
Existing Winter Solstice 1000h



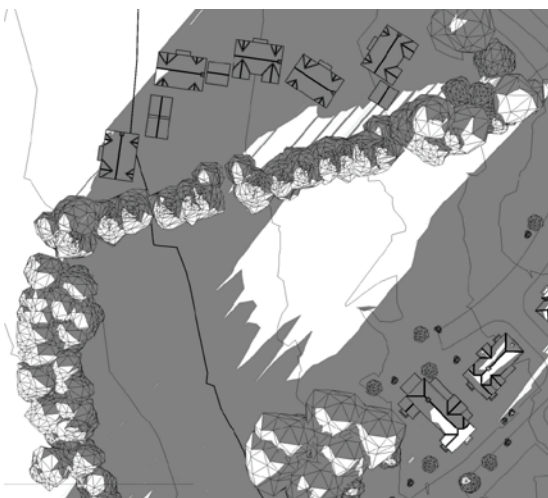
Proposed Winter Solstice 1000h



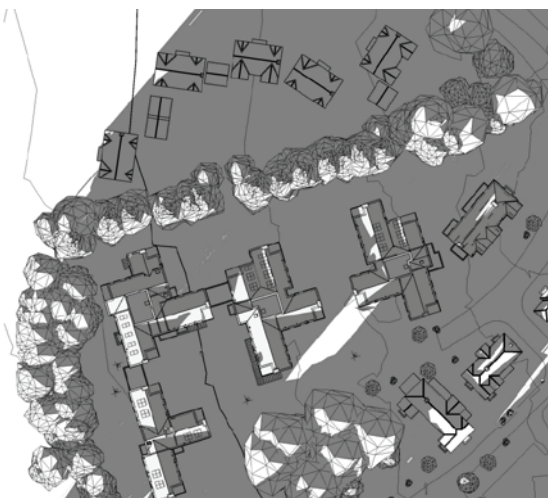
Existing Winter Solstice 1200h



Proposed Winter Solstice 1200h



Existing Winter Solstice 1600h



Proposed Winter Solstice 1600h

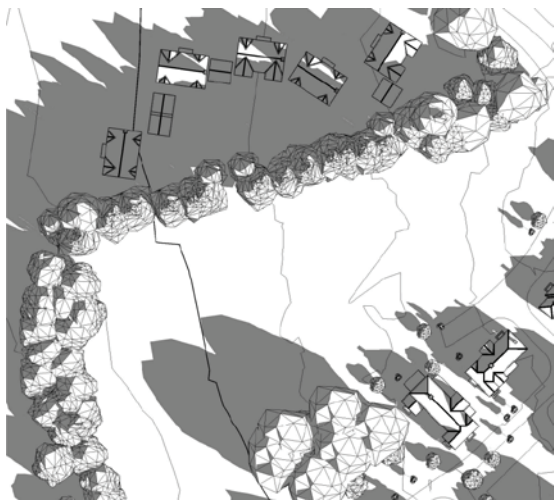
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0.2 Spring Equinox
Shadow Study

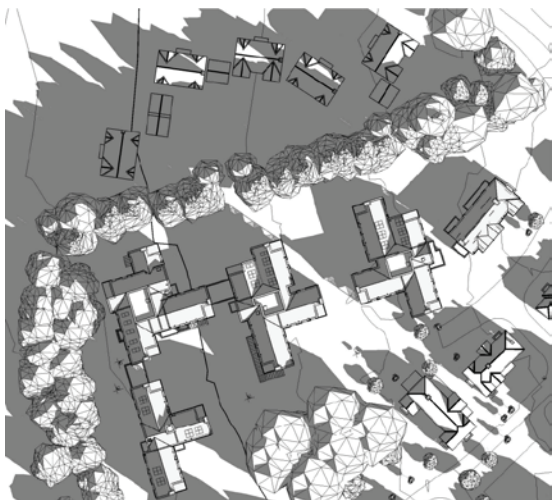
A subsequent shadow study has been carried out to understand the impact of the scheme changes on daylight and shadows during critical times of the year. This is highlight the limited effect of the development on properties to the North.

Key dates used remain as follows:

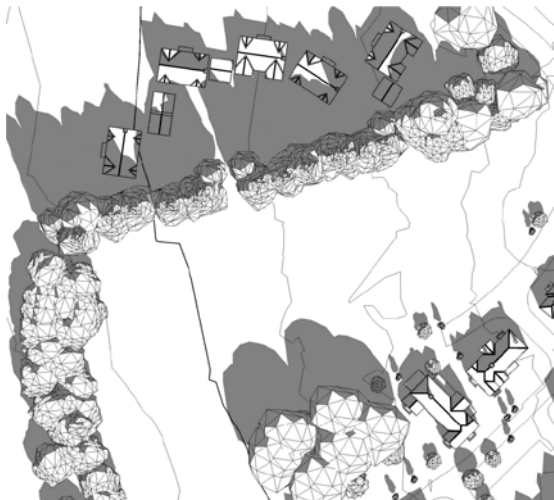
- Winter Solstice (December 21)
- Spring Equinox (March 21) - right
- Summer Solstice (June 21).



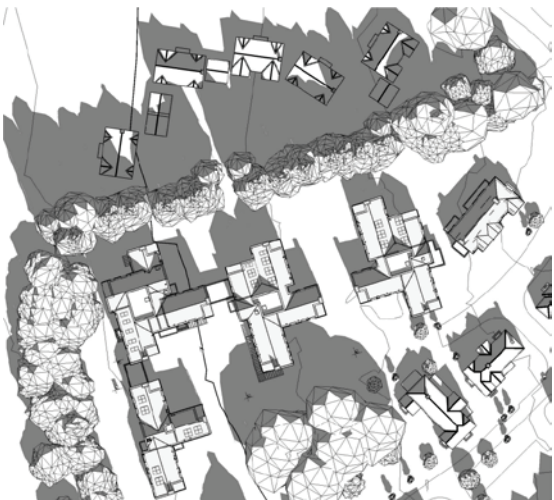
Existing Spring Equinox 1000h



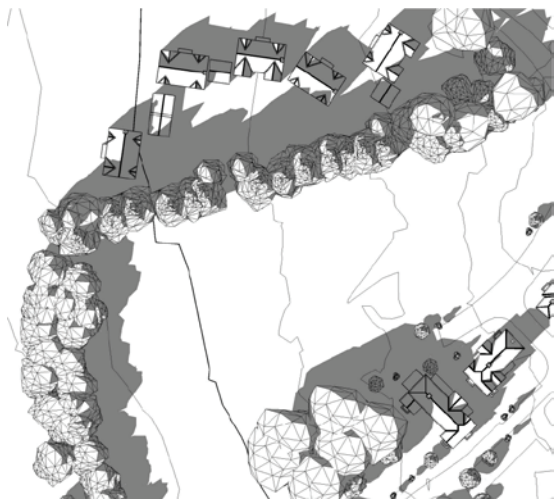
Proposed Spring Equinox 1000h



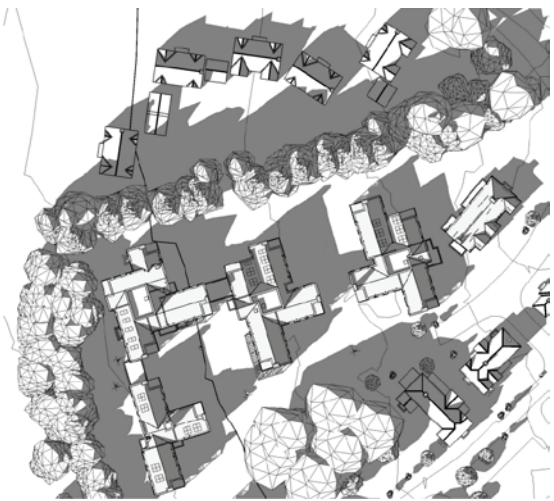
Existing Spring Equinox 1200h



Proposed Spring Equinox 1200h



Existing Spring Equinox 1600h



Proposed Spring Equinox 1600h

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0.3

Summer Solstice

Shadow Study - With Changes

A subsequent shadow study has been carried out to understand the impact of the scheme changes on daylight and shadows during critical times of the year. This is highlight the limited effect of the development on properties to the North.

Key dates used remain as follows:

Winter Solstice (December 21)

Spring Equinox (March 21)

Summer Solstice (June 21) - right



Existing Summer Solstice 1000h



Proposed Summer Solstice 1000h



Existing Summer Solstice 1200h



Proposed Summer Solstice 1200h



Existing Summer Solstice 1600h



Proposed Summer Solstice 1600h

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